

CITY OF SAN BRUNO



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
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STAFF

Aaron Akin, AICP, *Interim Community Development Director*
Mark Sullivan, AICP, *Housing and Redevelopment Manager*
Lisa Costa Sanders, *Acting Planning Manager*
Tony Rozzi, *Assistant Planner*
Laura Russell, *Assistant Planner*
Pamela Thompson, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
Bob Marshall, Jr, *Vice-Chair*
Kevin Chase
Mary Lou Johnson
Perry Petersen
Joe Sammut
Sujendra Mishra

COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING COMMISSION AGENDA

Tuesday, March 20, 2007
San Bruno Senior Center
1555 Crystal Springs Road
7:00 p.m.

Roll Call

Pledge of Allegiance

A.	Approval of Minutes	February 20, 2007	
B.	Communications		
C.	Public Comment		↓
			Actions
D.	Announcement of Conflict of Interest		
E.	Public Hearings		
1.	2380 Rosewood Drive (UP-06-030) <u>Environmental Determination:</u> Categorical Exemption <u>Zoning:</u> R-1 (Single Family Residential District)	Request for a Use Permit to allow the construction of an addition to an existing residence that increases the floor area by 74% per Section 12.200.030.B.1 of the San Bruno Zoning Ordinance. Douglas Fong (Applicant), Gary Tom (Owner). UP-06-030	
2.	2325 Valleywood Drive (UP-06-042) <u>Environmental Determination:</u> Categorical Exemption <u>Zoning:</u> R-1 (Single Family Residential District)	Request for a Use Permit to allow the construction of an addition which exceeds the Floor Area standard of .55 per Section 12.200.030.A.1 and exceeds 2,800 square feet with a two car garage per Section 12.96.060.D.4.c of the San Bruno Zoning Ordinance. Robert Wallace (Owner/Applicant) UP-06-042	

3.	<p>617 4th Avenue (UP-05-014)</p> <p><u>Environmental Determination:</u> Categorical Exemption</p> <p><u>Zoning:</u> R-1 (Single Family Residential District)</p>	<p>Request for a Use Permit to allow the construction of an addition which increases the gross floor area by 85% and exceeds the .55 floor area ratio guideline per Sections 12.200.030.B.1 and 12.200.030.B.2 of the San Bruno Zoning Ordinance. Jose Casco (Owner/Applicant) UP-05-014</p>	
4.	<p>701 Shelter Creek Lane (UP-07-005)</p> <p><u>Environmental Determination:</u> Categorical Exemption</p> <p><u>Zoning:</u> P-D (Planned Development)</p>	<p>Request for a Use Permit to allow special events on a permanent basis per Sections 12.84.070.B and 12.112 of the San Bruno Zoning Ordinance. Gundula Sartor (Applicant); Shelter Creek Homeowners Association (Owner) UP-07-005</p>	
5.	<p>3520 Longview Drive (UP-07-004)</p> <p><u>Environmental Determination:</u> Categorical Exemption</p> <p><u>Zoning:</u> R-1 (Single Family Residential District)</p>	<p>Request for a Use Permit to allow a large family day care operation in a single-family residential zone per Sections 12.84.200 and 12.96.060.C.6 of the San Bruno Zoning Ordinance. Mary Petersen (Applicant); Joanne Funk (Owner) UP-07-004</p>	
6.	<p>446 Redwood Avenue (UP-07-012)</p> <p><u>Environmental Determination:</u> Categorical Exemption</p> <p><u>Zoning:</u> R-1 (Single Family Residential District)</p>	<p>Request for a Use Permit to allow the construction of an addition which exceeds the Floor Area standard of .55 per Section 12.200.030.A.1 of the San Bruno Zoning Ordinance. Martijn and Michelle Blumenthal, (Applicant/Owner) - UP-07-12</p>	

F.	Discussion		
1.	City Staff Discussion	Select April 12, 2007 Architectural Review Committee Members.	
2.	Planning Commission Discussion		
G.	Adjournment		

Note: If you challenge the above actions in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this agenda, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

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PLANNING

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Bob Marshall Jr. *Vice-Chair*
Commissioners:
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Sujendra Mishra
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Kevin Chase
Joe Sammut

COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING COMMISSION MINUTES

FEBRUARY 20, 2007

San Bruno Senior Center
1555 Crystal Springs Blvd.
7:00 P.M. to 10:00 P.M.

CALL TO ORDER at 7:03 pm.

ROLL CALL

	<u>Present</u>	<u>Absent</u>
Chair Biasotti	X	
Vice Chair Marshall	X	
Commissioner Chase	X	
Commissioner Johnson	X	
Commissioner Mishra	X	
Commissioner Petersen	X	
Commissioner Sammut	X	

STAFF PRESENT:

Planning Division: Interim Community Development Director: Aaron Akin
City Attorney: Pamela Thompson
Assistant Planner: Tony Rozzi
Assistant Planner: Laura Russell
Community Dev. Recording Secretary: Cathy Hidalgo

Pledge of Allegiance: Vice Chair Biasotti

A. Approval of Minutes – January 16, 2007

Motion to Approve Minutes of January 16, 2007 Planning Commission meeting

Johnson/Sammut

VOTE: 6-0
AYES: All Commissioners Present
NOES: None
ABSTAIN: None

B. Communication

Introduce Laura Russell

E-Packets are available on line at www.sanbruno.ca.gov

C. Public Comment

None at this time.

D. Presentation

Diane Anderson, County of San Mateo Green Building Coordinator-Presented on Green Building Option available. Adopted sustainable building policy. New construction over 500 sq ft. would need to go through certification process. First jurisdiction in the area. More cities and counties have adopted as well. Residential side, education and benefits. Developed guidelines available to all the cities in the county and they can choose their own level of green building at the permitting level. Offer workshops and forums. Offering training to inspectors and planners. Policy available on

www.recycleworks.org

Section on local green buildings, with pictures and case studies. www.builditgreen.org out of Berkeley is working with Councils, Realtors and banks for offering financial incentives. County is looking for fee reduction in permitting. Incentive programs also being offered in other cities, such as moving plan process in more expeditious manner.

E. Announcement of Conflict of Interest

None

F. Public Hearings

1. 68 Scott Street

Request for a Use Permit to allow the construction of a new residence which increases the gross Floor Area by 152% when compared to the existing residence per Section 12.200.030.B.1. of the San Bruno Zoning Ordinance. Rodolfo Garces (GA Designs) (Applicant), Jesus Vega (Owner). UP-06-033

Assistant Planner Rozzi entered staff report. Additional Conditional of Approval. Proposing Evergreen Hedge. Neighbor did complain. Add to conditions rather than noting just on the plans.

Staff recommends that the Planning Commission approve Use Permit 06-33 based on Findings of Fact 1-6 and subject to conditions 1-20.

Chair Biasotti asked Commission if there were any questions for staff.

None

Chair Biasotti asked the applicant to address the Commission and introduce the project.

Applicant: Applicant introduced, Rodolfo Garces, the designer. 2500 sq ft craftsmen style 2 story addition.

Chair Biasotti: Questions for applicant?

Commissioner Johnson: Do you have any comments with the conditions?

Applicant: Responded, concur with conditions of approval, including the new condition.

Commissioner Chase: It is a large project, under floor area ratio, is there a particular reason there is that many bedrooms?

Applicant: Responded it is the size client requested, have needs and the family structure and this design makes more sense for them.

Vice Chair Marshall: How much room from the carport to fence?

Applicant: Responded, 19 feet 1 inch.

Interim Community Development Director Akin: Engineering asked for a turning radius, and it is feasible.

Vice Chair Marshall: Have we approved new homes with carports?

Interim Community Development Director Akin: no typically. Usually staff not favorable. This is to the rear of the home, won't have the same negative appearance

Chase: color samples. Doesn't denote the colors

Applicant: Explained colors on board. Type of stone hasn't been determined.

Vice Chair Marshall: on driveway, swinging gates, explain what type

Applicant: wrought iron with s scroll design in black.

Vice Chair Marshall: can we condition

Interim Community Development Director Akin: you can

Applicant: for security purposes probably iron

Commissioner Sammut: to staff. #9 egress requirements, that seems a building condition rather than planning.

Interim Community Development Director Akin: A new person within building reviewed plans, added it to conditions. No. 10 is now a new condition for pre construction meetings with general contractors.

Commissioner Johnson: To staff, giving size of building, any other comments from neighbors besides hedge?

Interim Community Development Director Akin: None.

Commissioner Petersen: A nice design, improve property value. Size within requirements. If you would put a gate there for security would the open carport be of concern.

Applicant: we wanted to make it into an enclosed garage, believe the city is requiring the gate.

Assistant Planner Rozzi: The issue was they were up against the allowable square footage with an enclosed garage it would go over the allowable sq footage, since carport is not enclosed it is not included in the floor space.

Public Comment opened.

Public Comment closed.

Chair Biasotti opened up to Commission for discussion.

Vice Chair Marshall: requirement on gate

Assistant Planner Rozzi: not a requirement by the city, but a security measure from the applicant.

Commissioner Johnson: comment on gates, 2700 square foot, have things visible in carport, subject to theft and visibility from the street. If it is not going to be a closed gate, there will be more temptation for theft.

Interim Community Development Director Akin: we could look into 2 requirements for the gate, it screens and it is automatic. Goal is to use this for parking.

Commissioner Chase: disagrees that the individual is responsible for using the parking and being responsible for utilizing the gate. Wouldn't want the applicant to incur extra costs.

Commissioner Mishra: should build for people not cars.

Commissioner Petersen: Nice design, discussions are interesting. If I lived there I would probably like a gate. Viewing costs, not much different. We shouldn't require an electric gate as we wouldn't require an electronic garage door.

Vice Chair Marshall: Not require electric gate, but require a workable gate.

Commissioner Petersen: Preference not to require the type of gate, allow the applicant to decide.

Vice Chair Marshall: Since it is in front of the house, the design factor should be a condition. Should be something that staff should decide on and that it is fitting for the house.

Commissioner Sammut: Doubts the designer would design something that doesn't overall work.

Motion to approve Use Permit 06-33 based on Findings of Fact 1-6 and subject to conditions 1-20. With additional Condition.

Commissioner Petersen/Chase

VOTE: 5-0
AYES: All Commissioners Present
NOES: None
ABSTAIN: None

Chair Mishra advised of a 10-day appeal period.

FINDINGS OF FACT

1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use since all construction will meet the Uniform Building Code and attain all appropriate Building Division permits.
2. The proposed development will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city given the expansion is in scale with the neighborhood and with two-car covered parking, thereby eliminating any negative impacts to on-street parking availability.
3. The proposed development will be consistent with the general plan, since the proposed single family home meets the general plan designation of low-density residential for the subject property.
4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.
5. That the general appearance of the proposed architectural design will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious

development of the city, and will not impair the desirability of investment or occupation in the neighborhood since the new home will be an economic benefit to the surrounding area.

6. With the provision of a two-car carport the project will comply with the off-street parking standards of the City of San Bruno Zoning Ordinance.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7074

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 06-033 shall not be valid for any purpose. Use Permit 06-033 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the conditions of approval shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on February 20, 2007, labeled Exhibit B except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City.
7. The carport shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the Uniform Building Code or storage. The residence must have the ability to park the required number of vehicles in the designated carport area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. Remove condensing unit (AC) from setback.
9. All bedroom windows must meet egress requirements.

10. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.

Fire Department – (650) 616-7096

11. Provide minimum 4" illuminated address numbers.
12. Provide hardwired smoke detectors with battery back up to all bedroom and hallway/corridors.
13. Provide spark arrestor on chimney if present.

Department of Public Works – (650) 616-7065

14. No fence, retain wall or other permanent structure to be placed within 2.0' from back of sidewalk.
15. Encroachment permit from Engineering Department required prior to work, San Bruno municipal code 8.16.010. Business license and proof of insurance required.
16. Install a sanitary sewer lateral clean-out at property line per City standards detail SS-01.
17. Paint address number on face of curb near driveway approach. Black lettering on white background.
18. Replace all broken or raised concrete in sidewalk or driveway approach as marked. Markings shall take place under Building Review.
19. Storm water from new roof down-spouts and other on-site drainage, shall be collected and drained to an underground storm water system or through and under sidewalk curb drain to the gutter per City standards detail SI-03. Chapter 11, UPC 1101.1 50% drain to landscape allowed.
20. Plant one 36-inch box size approved tree or payment of \$450.00 each in-lieu replacement tree fund. San Bruno Municipal code section 8.24.060.

Planning Commission

21. Applicant shall plant an evergreen hedge on rear property line per Planning Commission approved plans dated February 20, 2007.

Chair Biasotti advised of a 10-day appeal period.

2. 570 Walnut Avenue

Request for a Use Permit to allow the construction of an addition which increases the gross floor area by 100% and proposes a .63 floor area ratio per Sections 12.200.030.B.1 and 12.200.030.B.2 of the San Bruno Zoning Ordinance. Jose Casco (Applicant), Miguel Lanza (Owner) UP-06-039

Assistant Planner Rozzi entered staff report.

Staff recommends that the Planning Commission approve Use Permit 06-039 based on the Findings of Fact (1-6), subject to Conditions of Approval (1-14).

Chair Biasotti asked Commission if there were any questions for staff.

Commissioner Petersen: Questions, increasing garage by 10 feet would go into kitchen by 1 foot.

Assistant Planner Rozzi: Responded, received a new plan, will be adding additional 6 ft.

Commissioner Petersen: Questioned, new garage wall would be a couple of feet from the kitchen?

Assistant Planner Rozzi: Proposal from applicant is how they want the application.

Vice Chair Marshall: Questioned, asked for 10 feet

Assistant Planner Rozzi: Responded, proposed for 4 feet.

Chair Biasotti asked the applicant to address the Commission and introduce the project.

Applicant: Applicant introduced, Jose Casco, Designer. Owners want more bedrooms, have small children. This is the best option they came up with. Keep the area in front with living room and office. Extension of garage, understands for mechanical and appliances, but extension destroys the interior of the house and doesn't improve for parking in the garage, that is why they declined the extension.

Chair Biasotti: Questions for applicant?

Commissioner Petersen: 2nd floor plan, looks like smallest bedroom is as big as the biggest bedroom now. Is there potential storage space now in the new bedrooms?

Applicant: Replied yes. Original space, very little closet and storage space.

Public Comment opened.

Public Comment closed.

Chair Biasotti opened up to Commission for discussion.

Commissioner Marshall: what would 6 feet do for the application?

Assistant Planner Rozzi: Responded with 30 ft for the depth most likely only one car could be parked, leaving ample storage space. Giving parking issues, this mitigation would ensure parking.

Interim Community Development Director Akin: Added, when adding a second story, staff precedents that you add on to your garage, whether side by side or tandem. The kitchen in this case is behind the garage. The compromise was 10 feet. More for extra storage.

Commissioner Chase: Questions, in regards to precedent, what triggers is 1825 square feet?

Interim Community Development Director Akin: Responds, from municipal code is 1825, staff asks for 2nd garage space for adding more bedrooms.

Commissioner Chase: Responds, it seems to be on individual basis. Trying to stick with the 1825 and over, have them cut it down rather than adding the garage, during discussions, anything come up about reducing the size of the addition.

Interim Community Development Director Akin: This is what the client wants, we are asking them to reduce the living area by expanding the garage.

Commissioner Chase: Responds, maybe make the bedrooms a little smaller rather than expanding the garage.

Interim Community Development Director Akin: Staff would prefer more parking.

Commissioner Petersen: States .63 is not as large as the typical floor ratio rates we are seeing.

Interim Community Development Director Akin: Correct.

Commissioner Petersen: To designer- 2nd floor. Each bedroom has large closets. Typically storage boxes are 18x12, made closets deeper by 13" and put shelves in back, that would provide more storage. Would client be willing to do that?

Applicant: Responds, it still increases floor area.

Commissioner Petersen: Responds, if you move 13" you would lose some area.

Applicant: Responds, closets are typically for clothes, pass that it is empty space.

Commissioner Johnson: Supports project. Currently 2 bedrooms, increasing by one bedroom. Looks like we are talking feet, not huge amount of space. Living spaces, you need every inch possible, looks like a car would fit, and with closets for storage, seems fine. Asking for change may impose a hardship and supporting the project as is.

Commissioner Sammut: Echoes Johnson remarks. We are still able to get one car in and still have the driveway. Additional space is not going to make difference for another car. Is there any reason we haven't talked about an attic?

Interim Community Development Director Akin: Responds, no.

Commissioner Johnson: Comments, only place for extra storage would be in the front, which is not feasible.

Commissioner Chase: Doesn't see where the discussion needs to go, people can store where they want. More concerned about the 2 car parking space. Agrees with Johnson and Sammut.

Commissioner Mishra: The door of the garage into the living room, is there issues with exiting if there is a car there.

Motion to approve Use Permit 06-039 based on the Findings of Fact (1-6), subject to Conditions of Approval (1-14).

Commissioner Johnson/Petersen

VOTE:	7-0
AYES:	All Commissioners Present
NOES:	None
ABSTAIN:	None

Chair Biasotti advised of a 10-day appeal period.

FINDINGS OF FACT

1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use since all construction will meet the Uniform Building Code and attain all appropriate Building Division permits.

2. The proposed development will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city given the expansion is in scale with the neighborhood and off-street parking requirements will be met, thereby eliminating any negative impacts to on-street parking availability.
3. The proposed development will be consistent with the general plan, since the proposed single family home meets the general plan designation of low density residential for the subject property.
4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.
5. That the general appearance of the proposed architectural design will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood since this addition has been well designed with appropriate finished materials.
6. The proposed expansion complies with applicable off-street parking standards of the City of San Bruno Zoning Ordinance.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7074

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 06-039 shall not be valid for any purpose. Use Permit 06-039 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the conditions of approval shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on February 20, 2007, labeled Exhibit B except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.

5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the Uniform Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.

Department of Public Works – (650) 616-7065

9. Remove and replace all sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than 1/2-inch. S.B.M.C. 8.12.010.
10. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule. S.B.M.C. 8.24.060

Fire Department – (650) 616-7096

11. Address numbers must be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
12. Provide spark arrestor for chimney, if present.
13. Provide hardwired smoke detectors with battery backup to all bedrooms and hallways.
14. The project must comply with all future Fire Department conditions, as required during the plan check review by the Building and Safety Department.

3. 751 B Camino Plaza

Request for a Use Permit to allow a recreational facility in a commercial zone per Sections 12.96.110.C and 12.112 of the San Bruno Zoning Ordinance. Mad Eel, LLC (Applicant); G.W. Williams Co. (Owner) UP-07-002

Assistant Planner Rozzi entered staff report.

Staff recommends that the Planning Commission approve Use Permit 07-002 based on the Findings of Fact (1-4), subject to Conditions of Approval (1-12).

Chair Biasotti asked Commission if there were any questions for staff.

Vice Chair Marshall: Comments, more of owner's problem for noise, rather than a city.

Assistant Planner Rozzi: Responds, since the city has some noise issues, the police department asked that both the applicant and property owner mitigate.

Interim Community Development Director Akin: Since this is a conditional use, it must have noise mitigation methods.

Vice Chair Marshall: Has there been any complaints?

Assistant Planner Rozzi: Responds, none received.

Commissioner Chase: Questioned, should have sound proofing with this particular applicant since it is next to the learning center? What are the hours?

Assistant Planner Rozzi: 6am to 9pm

Commissioner Chase: On conditions of approval, it is 6am to 10pm, which should it be?

Assistant Planner Rozzi: Those are the hours we have given to other businesses.

Interim Community Development Director Akin: Allowing some flexibility, if they need to increase they can with the Community Development Director.

Commissioner Sammut: Condition 4 should adjust hours from 6am to 10pm, since those are the hours of operations?

Assistant Planner Rozzi: Responds, noise is usually for construction.

Commissioner Chase: Questions, allow construction 24 hours?

Interim Community Development Director Akin: Responds, taken from the municipal code, yes allow 24 hours as long as one can't hear outside your home.

Chair Biasotti asked the applicant to address the Commission and introduce the project.

Applicant: Applicant introduced, Anthony Gisler, president of LA boxing Franchise. Kickboxing facility formed in 1992. On expansion program opening new stores every week. Location they found to get conditional use approval.

Commissioner Chase: How many facilities have you opened in the bay area?

Applicant; Responded, this is the first, currently building in San Jose, San Francisco.

Commissioner Johnson: What is the busiest time of the program?

Applicant: Listed staff in error, that is the total amount of staff, 1 a.m. sales person and 1 p.m. sales person. Weekend manager, not all in the building at the same time. Instructors also on staff.

Commissioner Johnson: What are the busy times?

Applicant: 5:30pm, 6:15pm, evening times mostly.

Commissioner Johnson: Are you proposing for 6am open?

Applicant: We have a 6:30am class scheduled. Offer that as a benefit to the chosen few that come out, usually about 7 or 8 people.

Commissioner Johnson: Is it more of a boxing program, or weight program?

Applicant: Responded, it is a value added set up. This is a kick boxing fitness workout.

Vice Chair Marshall: Questioned, is it class style or drop in

Applicant: Responded, class style.

Vice Chair Marshall: Can you explain fight night.

Applicant: Responded, it is set up in 4 levels, events set up every other month, designed to draw membership.

Vice Chair Marshall: Anticipated income?

Applicant: Responded, approximately \$800 annual income per member. It is set up as a Membership drive.

Commissioner Sammut: Your target market, looking for 18-49 – what is the percentage of "soccer moms"?

Applicant: 50%, depending on marketing. We market on different cable networks, end up with 50/50 split.

Chair Biasotti: Questions for applicant?

Public Comment opened.

Public Comment closed.

Chair Biasotti opened up to Commission for discussion.

Commissioner Johnson: There is added insulation for noise. To applicant: is this condition okay.

Applicant: Has had worse case scenarios with Spas, etc. The bags don't affix to ceilings or walls, the speed bags are independent as well. Decided to locate that entire system on the north wall, and the left wall will be cardio and strength machines, sound element is minimal.

Commissioner Johnson: not opposed to insulation?

Applicant: Responded, not to the point of insulating as if it was a recording system, but will put up sound boards and accepts the conditions.

Motion to approve Use Permit 07-002 based on the Findings of Fact (1-4), subject to Conditions of Approval (1-12).Additional condition of sound wall.

Commissioner Johnson/Sammut

VOTE: 7-0

AYES: All Commissioners Present

NOES: None

ABSTAIN: None

Chair Biasotti advised of a 10-day appeal period.

FINDINGS OF FACT

1. The proposed new use will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use since all construction will meet the Uniform Building Code and attain all appropriate Building Division permits.
2. The proposed new use will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city given the new use is consistent with the types of businesses located in the area.

3. The proposed development will be consistent with the general plan, since the proposed new use meets the general plan designation of commercial for the subject property.
4. The proposed expansion complies with applicable off-street parking standards of the City of San Bruno Zoning Ordinance.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7074

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 07-002 shall not be valid for any purpose. Use Permit 07-002 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the conditions of approval shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit to operate a recreational facility shall be built according to plans approved by the Planning Commission on February 20, 2007, labeled Exhibit B except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. All activities of the recreational facility at 751B Camino Plaza shall remain indoors and all patrons of the facility shall remain in the provided indoor waiting area.
7. All heavy bags, speed bags and miscellaneous equipment shall be located to the north side of the building as a noise mitigation measure.
8. The applicant and any successor in interest, shall agree to operate the recreational facility at 751B Camino Plaza in the manner as described in the staff report and in the applicant's support statement. Any deviation or change in business activities shall require prior authorization by the Community Development Director and may require full Planning Commission review. Failure to comply with these requirements may result in the City of San Bruno instituting revocation hearings.
9. The permitted hours of operation of the facility shall be seven days between the hours of 6 AM and 10 PM. Any changes to these hours of operation shall require prior authorization from the Community Development Director.

10. Applicant shall use sound reduction materials to insulate the adjacent wall of the building, between 751A and 751B Camino Plaza as a noise mitigation measure. At no time shall the business exceed the acceptable ambient noise levels for a commercial property per the San Bruno Municipal Code.
11. All amplified music shall be kept at a level so that it is not heard or felt in the adjacent business.

Fire Department – (650) 616-7096

12. Approved pending business compliance inspection.

G. Discussion

1. City Staff Discussion
 - a. Select March 15, 2007 Architectural Review Committee Members – Chase, Johnson Biasotti, back up Marshall.
2. Planning Commission Discussion

Regarding Green Building – general plan policies.

Chase: comment on having meeting with General Contractors with applicant and building, support of that condition.

Aknin: working on making all departments able to work together. Have inspectors sit in on meeting with planners. Have planners inspect with building.

Chase: regards to PC conferences being held in San Diego, dates.

Aknin: March 21st

H. Adjournment

Meeting was adjourned at 8:35 pm

Aaron Aknin
Secretary to the Planning Commission
City of San Bruno

Rick Biasotti, Chair
Planning Commission
City of San Bruno

NEXT MEETING: March 20, 2007

AA/ch

CITY OF SAN BRUNO

COMMUNITY DEVELOPMENT DEPARTMENT



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
<http://www.ci.sanbruno.ca.us>

STAFF

Aaron Akin, AICP, *Interim Community Development Director*
Mark Sullivan, AICP, *Housing and Redevelopment Manager*
Lisa Costa Sanders, *Acting Planning Manager*
Tony Rozzi, *Assistant Planner*
Laura Russell, *Assistant Planner*
Pamela Thompson, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
Bob Marshall, Jr., *Vice-Chair*
Kevin Chase
Mary Lou Johnson
Perry Petersen
Joe Sammut
Sujendra Mishra

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. E.1
March 20, 2007**

PROJECT LOCATION

1. Address: 2380 Rosewood Drive
2. Assessor's Parcel No: 019-181-080
3. Zoning District: R-1 (Single Family Residential District)
4. General Plan Classification: Low Density Residential

EXHIBITS

- A: Site Location
- B: Site Plan, Floor Plans, and Elevations
- C: Photo of Existing Site
- D: Additional information from Applicant

REQUEST

Request for a Use Permit to allow the construction of an addition to an existing residence that increases the floor area by 74% per Section 12.200.030.B.1 of the San Bruno Zoning Ordinance. Douglas Fong (Applicant), Gary Tom (Owner). **UP-06-030**

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 06-30 based on Findings of Fact 1-6 and subject to conditions 1-14.

REVIEWING AGENCIES

Community Development Department
Public Works Department
Fire Department

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on March 9, 2007.
2. Advertisement published in the *San Mateo Daily Journal*, Saturday, March 10, 2007.

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15303(A): New Construction of a Single Family Residence/Conversion of a Structure.

EXISTING CONDITIONS

The subject property is located on the north side, mid-block of Rosewood Drive, between Lowell Avenue and Alcott Road. This is a rectangular-shaped lot with a total size of 6,015 square feet. The property is currently developed with a 1,904 square foot, single-family home containing two bedrooms and one bathroom, with an attached two-car garage.

This home was built in 1958. The neighborhood that surrounds the subject property contains a consistent type of residential split-level home style with a mix of lap siding and stucco finish and composite shingle roof material. A church is located to the left side of the property, with single-family homes to the right side and across the street. City of San Bruno owns the property to the rear as open space as well as Buckeye Park to the south.

SURROUNDING LAND USES

North: Open space – O-zone, open space and conservation

South: Single-family homes directly across the street with Buckeye Park to the south - R-1 Zone and O Zone, low density residential/open space and conservation

East: Lowell Avenue - R-1 Zone, low density residential

West: Alcott Road - R-1 Zone, low density residential

PROJECT INFORMATION

The proposed project includes an addition to the rear of the existing residence and conversion of the lower level storage space to living space. The existing home contains two bedrooms and one bathroom with a lower level two-car garage and laundry room. The proposal adds a den, bedroom and bathroom to the lower level (maintaining the two car garage, laundry room, and mud room). The upper level addition adds a new master bedroom and bathroom and remodels the kitchen and great room. The applicant also proposes to expand the rear yard patio space.

If approved and constructed this would be a 4-bedroom, 3-bathroom home. Project details are shown in the following table:

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	same
Lot Area		Min. 5,000 sq. ft	6,015 sq. ft	same
Lot Coverage		Max. 2,200 sq. ft (44%)	1,475 (21%)	1,824 sq. ft (30%)
Gross Floor Area		Max. 2,750 sq. ft	1,904 sq. ft	3,319 sq. ft
Floor Area Ratio		55%	32%	55%
Building Setbacks	Front	15'-0" to home 20'-0" to garage	10'-0" to the lower level, 8'-9" to the upper level	same
	Rear	10'-0"	24'-9"	17'-0"
	Side	5'-0" Right 5'-0" Left	2'-6" Right 4'-0" Left	5'-0" Right 5'-6" Left
Building Height		28'-0"	20'-9"	25'-7"

Covered Parking	2 covered spaces	2 car garage	2 car garage
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Square Footage Breakdown:

	Lower Level	Upper Level	Garage	Total
Existing	120	1,158	626	1,904
Proposed	835	533	47	1,415
Total	955	1,691	673	3,319

BACKGROUND

The Architectural Review Committee (ARC) reviewed the project at its December 14 2006 meeting and forwarded the project to the Planning Commission with a favorable recommendation and the following comments:

- Work with staff to redesign the front of the home to balance the addition with the existing home and the neighborhood.
- Bring color and material samples to the Planning Department prior to the Planning Commission meeting.
- Show gutters and downspouts on elevation plans.

Commissioners Sammut, Biasotti, Mishra were present for this item.

Since the Architectural Review Committee hearing, the applicant has incorporated all of the suggested revisions.

- Changed the front elevation; modified the windows to better match the window style of the addition, added a new door with small balcony and guard rail, added a new sidelite at the front door, and included a more compatible style metal guardrail.
- At the rear elevation; changed the existing expanse of windows at both first and second floor with new windows that better match the window style of the addition.
- At the west (left) side elevation; popped the windows into the roofline to better match the roofline and window layout of the addition.
- At the east (right) side elevation; changed the two smaller windows into a larger divided light window at the front to better match the window style of the addition.
- Included a scored panel design in the stucco at all elevations to integrate the contemporary home style.
- Included the gutter and downspout detail on all elevations.

The revised plans were informally presented to the Architectural Review Committee with a favorable response on the design changes.

ANALYSIS AND RECOMMENDATION

As indicated above, this proposal requires approval of a Use Permit to allow the construction of an addition, which proposes to increase the floor area by more than 50%. Section 12.200.030.B.1 of the City's Zoning Code states that a Conditional Use Permit shall be required for "expansions to an existing

single family residential structure, which proposes an increase in the gross floor area by more than fifty percent." The applicant is proposing an 1,415 square foot addition to an 1,904 square foot residence, resulting in a 74% expansion.

The applicant has designed the home to meet all residential requirements (height, setbacks, etc.) except for the expansion of more than 50%. Architecturally, the applicant is proposing a two-story modern style addition, with a turret (tower) element above the upper level and new-pitched roof for the addition.

Use Permit 06-030

Staff is recommending continuation based on the following findings;

*Pursuant to the City's Zoning Code, the Planning Commission shall grant the Use Permit if it makes the following findings (required findings are in **bold** followed by staff's analysis of the project and how the findings cannot be made with the current design):*

- 1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use.**

With the condition that the applicant obtain a building permit prior to construction, the addition will be constructed according to the Uniform Building Code (UBC) and therefore will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood. The proposed structure meets all required setbacks and all UBC safety requirements. Therefore, the development will not be detrimental to the health and safety of the persons residing in the neighborhood.

- 2. The proposed development will be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city.**

The applicant is proposing a modern style addition to an existing home constructed in 1958. Façade improvements at the south (front) elevation includes new stone veneer at the lower level, replacing the existing lap siding with stucco, a new door with balcony at the second floor above the garage, new windows and a new metal guardrail. A new turret (tower element) is proposed at the center of the home at a height of 25'-7" from the sidewalk elevation. The fireplace will be extended in height. The proposed improvements at the west (left) side elevation continues the stone veneer base, with a stucco finish. The walls are extended to a height of 13'-6" with a new pitched roofline. Large expanse of windows extending the full height of the wall to just below the roof fascia are proposed. At the north (rear) elevation, the addition is design in a series of elements. The addition includes a large expanse of windows to the roof fascia to capture the view, stone veneer base and a pitched roofline. New windows are also proposed in the existing home to better incorporate the new window style as well as replacing the siding with stucco and incorporating the stone veneer at the lower level. The east (right) side elevation includes new windows extending into a roofline with a new-pitched roof. The existing siding is replaced with stucco and the lower level includes the stone veneer.

The applicant has incorporated the recommendations of Staff and the Architectural Review Committee to better incorporate design features of the addition to integrate the design of the home. The current design utilizes similar roof designs, consistent window styles and a consistent patter of façade materials

throughout the home (stucco at the upper level and stone veneer base at the lower level). Staff feels that the revised design of the proposed addition with improvements to the existing home results in an integrated design that would be an improvement to the neighborhood.

With the provision of a two-car garage, on-street parking in the neighborhood area should not be negatively impacted since two car covered parking meets the property's off-street parking code requirements.

3. The proposed development will be consistent with the general plan.

The general plan designates the property as low-density residential district and the proposed addition to the single-family structure is consistent with this residential general plan designation. The home's floor plan will continue to accommodate a single family only and no portion is intended as a second unit. Any future establishment of a second dwelling unit on the property would require Planning Division review.

4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is *not* consistent with the design and scale of the neighborhood.

The proposed structure will not unreasonably restrict or interfere with light and air on the properties in the neighborhood since the structure will maintain required setback distances from the property lines and is designed within the height limits.

As stated above, Staff feels that the revised design of the addition together with the improvements to the existing homes results in an integrated design that is consistent with the design and scale of the neighborhood. The home design is a modern adaptation of the architectural style of the homes in the neighborhood.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood.

As stated above, the revised design is compatible with the neighborhood, specifically, the use of stucco, and the low roofline. The home maintains a low profile on the sloping site.

6. The proposed expansion complies with applicable off-street parking standards of the zoning ordinance.

The existing home includes an attached two-car garage. The provision of two car covered parking meets the zoning ordinance requirements based on the size of the home with the addition.

NEIGHBORHOOD CONCERNS

Staff mailed a courtesy notice to property owners adjacent to the subject site prior to the Architectural Review Committee meeting and public notices prior to the Planning Commission meeting. Staff received one letter in support of the remodeling project dated December 10, 2006 from the property owners at 2370 Rosewood Drive (immediately east of the subject site).

Recommendations

Based on the above analysis and Findings of Fact 1-6 below, Staff recommends approval of Use Permit 06-30 subject to conditions 1-14 below.

FINDINGS OF FACT

1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use since all construction will meet the Uniform Building Code and attain all appropriate Building Division permits.
2. The proposed development will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city given the expansion is in scale with the neighborhood and with the existing two car garage, the off-street parking requirements will be met, thereby eliminating any negative impacts to on-street parking availability.
3. The proposed development will be consistent with the general plan, since the proposed single family home meets the general plan designation of low density residential for the subject property.
4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.
5. That the general appearance of the proposed architectural design will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood since this addition will be an economic benefit to the surrounding area.
6. With the existing two-car garage the project complies with the off-street parking standards of the City of San Bruno Zoning Ordinance.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7074

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 06-030 shall not be valid for any purpose. Use Permit 06-030 shall expire one (1) year from the date

of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.

2. The signed copy of the conditions of approval shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on March 20, 2007, labeled Exhibit B except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.

Fire Department – (650) 616-7096

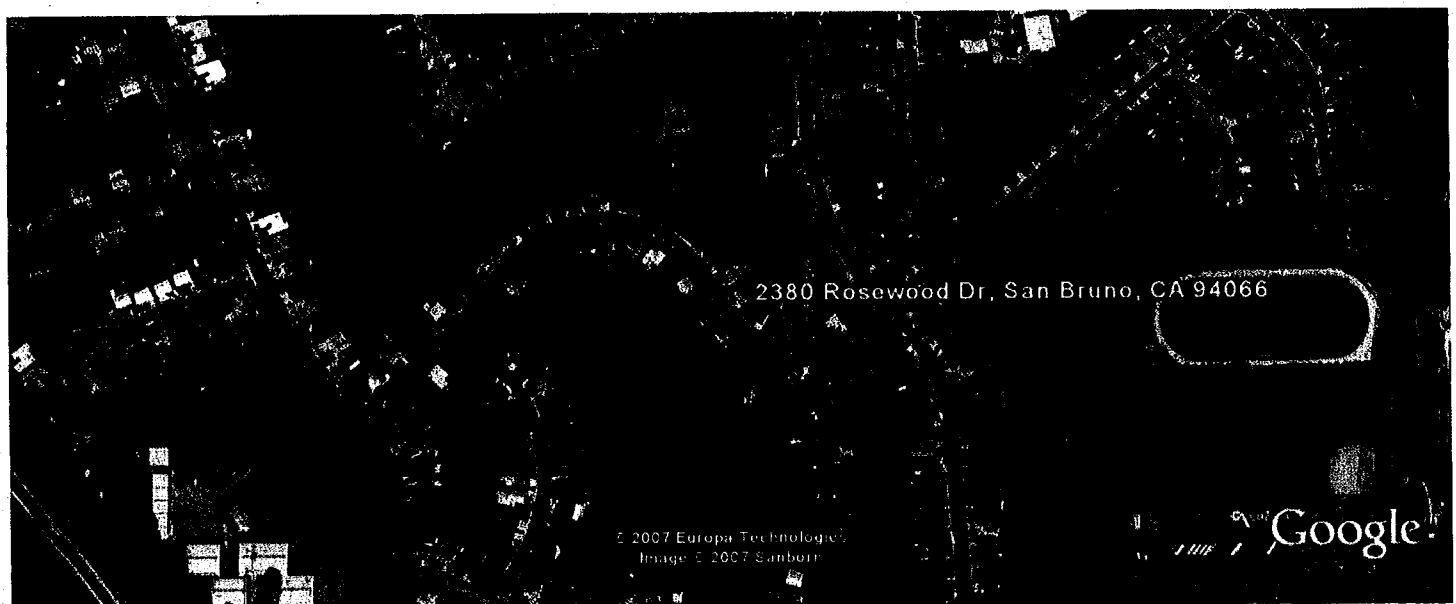
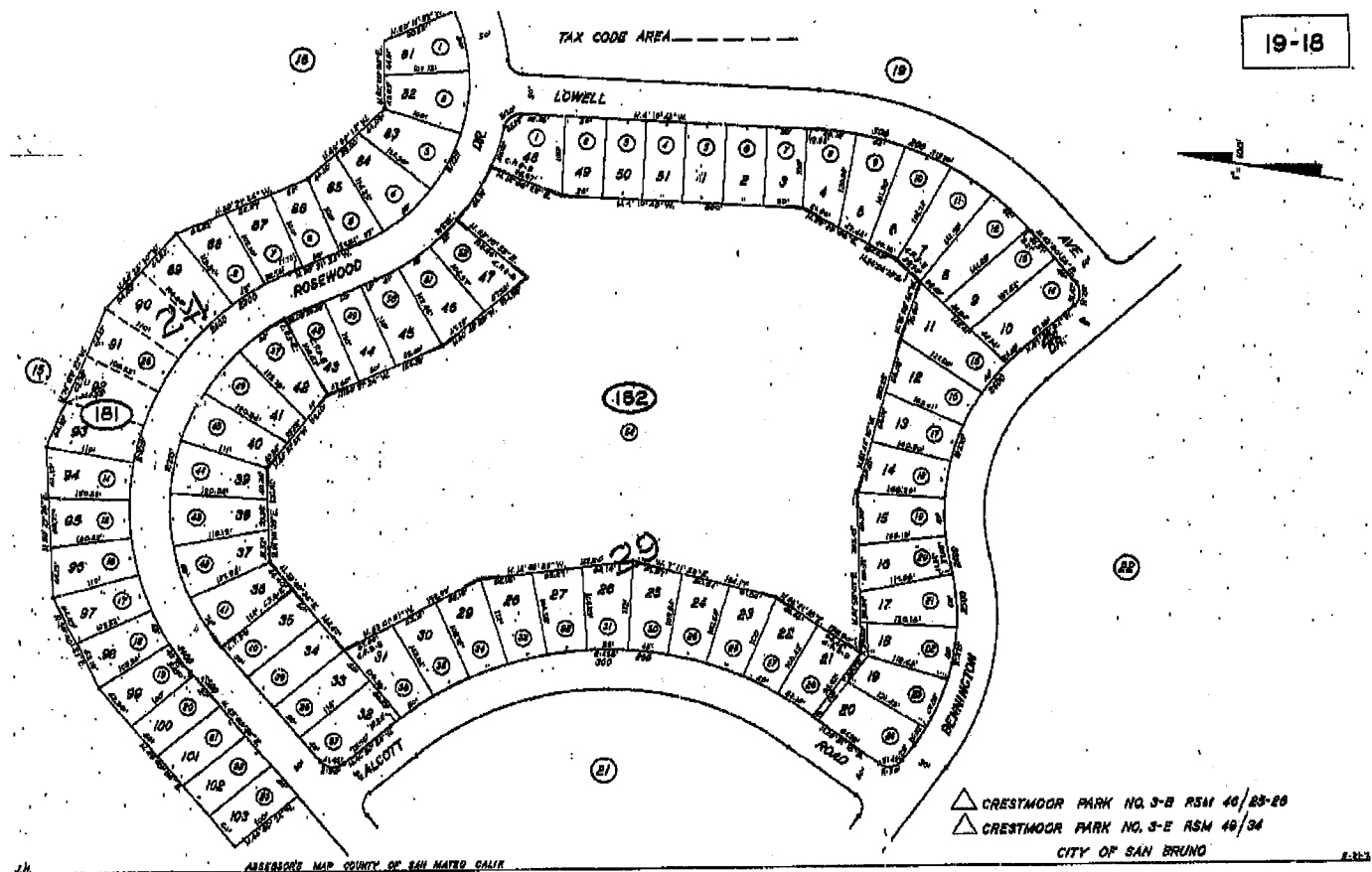
7. Provide minimum 4" illuminated address numbers.
8. Provide hardwired smoke detectors with battery back up to all bedroom and hallway/corridors.
9. Provide spark arrestor on chimney if present.

Department of Public Works – (650) 616-7065

10. Encroachment permit from Engineering Department required prior to work, San Bruno municipal code 8.16.010. Business license and proof of insurance required.
11. Install a sanitary sewer lateral clean-out at property line per City standards detail SS-01.
12. Paint address number on face of curb near driveway approach. Black lettering on white background.
13. Storm water from new roof down-spouts and other on-site drainage, shall be collected and drained to an underground storm water system or through and under sidewalk curb drain to the gutter per City standards detail SI-03. Chapter 11, UPC 1101.1 50% drain to landscape allowed.
14. Plant one 36-inch box size approved tree or payment of \$540.00 each in-lieu replacement tree fund. San Bruno Municipal code section 8.24.060.

Submitted on March 9, 2007 by:
Lisa Costa Sanders, Acting Planning Manager

2380 Rosewood 019-181-080



2380 Rosewood Dr, San Bruno, CA 94066

Exhibit A – Site Location



CITY OF SAN BRUNO
COMMUNITY DEVELOPMENT DEPARTMENT

RECEIVE

**ADDITION TO:
TOM RESIDENCE
2380 ROSEWOOD DRIVE
SAN BRUNO, CALIFORNIA**

ABBREVIATIONS		GENERAL NOTES		CORRESPONDENCE		BUILDING DEPT. NOTES		PLANNING DEPT. NOTES		DRAWING INDEX	
ADJ. ADJ. BENT	DO NOT SCALE DRAWINGS.	GARY TOM	2001 CALIFORNIA BLDG CODE	CITY OF SAN BRUNO ZONING ORDINANCE	COVER SHEET	AD0	AD0	AD0	AD0	AD0	AD0
ADJ. ABOVE FINISH FLOOR	STAR ARROWS POINT IN UP DIRECTION.	456403642	CONSTRUCTION TYPE VNR	TITLE 12, ARTICLE 3	DOOR & WINDOW SCHEDULE	AD1	AD1	AD1	AD1	AD1	AD1
ADJ. ARCHITECTURAL	KEY NOTES ARE LISTED ON THE B-SHEET TO WHICH THEY APPLY.	456403642	OCCUPANCY GROUP R3	ZONING DISTRICT - R0004	EXISTING SITE AND ROOF PLANS	AD2	AD2	AD2	AD2	AD2	AD2
ADJ. BOTTOM	NORTH ARROW ON PLAN DRAWINGS INDICATES REFERENCE NORTH.	456403642	SINGLE FAMILY DWELLINGS W/ (E) PRIVATE GARAGE	LOT AREA - 8,005 SF	EXISTING ELEVATIONS	AD3	AD3	AD3	AD3	AD3	AD3
ADJ. CABINET	ALL WORK TO COMPLY WITH ALL CODES HAVING JURISDICTION OVER THIS SITE.	456403642	AREA CALCULATIONS	CONDITIONAL USE GUIDELINES	EXISTING ELEVATIONS	AD4	AD4	AD4	AD4	AD4	AD4
ADJ. CEILING LINE	EXISTING UPPER LEVEL FINISH FLOOR IS DATUM E.L.O.-O' FOR THE PURPOSES OF THIS DRAWING SET.	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD5	AD5	AD5	AD5	AD5	AD5
ADJ. CONC	ALL DIMENSIONS GIVEN TO FACE OF FINISH UNLESS OTHERWISE NOTED.	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD6	AD6	AD6	AD6	AD6	AD6
ADJ. CONC	ALL WORK SHOWN IS NEW UNLESS OTHERWISE SPECIFICALLY INDICATED.	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD7	AD7	AD7	AD7	AD7	AD7
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD8	AD8	AD8	AD8	AD8	AD8
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD9	AD9	AD9	AD9	AD9	AD9
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD10	AD10	AD10	AD10	AD10	AD10
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD11	AD11	AD11	AD11	AD11	AD11
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD12	AD12	AD12	AD12	AD12	AD12
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD13	AD13	AD13	AD13	AD13	AD13
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD14	AD14	AD14	AD14	AD14	AD14
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD15	AD15	AD15	AD15	AD15	AD15
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD16	AD16	AD16	AD16	AD16	AD16
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD17	AD17	AD17	AD17	AD17	AD17
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD18	AD18	AD18	AD18	AD18	AD18
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD19	AD19	AD19	AD19	AD19	AD19
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD20	AD20	AD20	AD20	AD20	AD20
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD21	AD21	AD21	AD21	AD21	AD21
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD22	AD22	AD22	AD22	AD22	AD22
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3) 2ND FLR RESIDENCE (R3) TOTAL AREA	PROPOSED ADDITION EXPANSION - 741	EXISTING ELEVATIONS	AD23	AD23	AD23	AD23	AD23	AD23
ADJ. CONC	EXISTING INSULATED	456403642	EXISTING TWO CAR GARAGE (U) 1ST FLR RESIDENCE (R3)								



Design + Build
2385 Rosewood Drive
Cambridge, MA 02138
Tel: 617.552.1234
Fax: 617.552.1235
www.d+b.com

NO. DATE REVISION		2006/07 PLANNING APPR. 02
PROJECT		renovation to
Tom Residence		2385 Rosewood Drive Cambridge, MA 02138 APR #019 181 OSC
DRAWING TITLE		WINDOW AND DOOR SCHEDULES
DATE		2/06/07
JOB		0002
SCALE		N/A
SHEET NUMBER		A0.2
SHEET 2 OF 2		

DOOR SCHEDULE									
MARK	DOOR				THICKNESS	TYPE	MATERIAL	GLAZING	COMMENTS
	WIDTH	HEIGHT	GLAZING	TYPE					
1	192	84	1-3/4"	A	SC WD	A	SC WD	A	OVERHEAD GARAGE
2	36	80	1-3/4"	B	SC WD	-	SC WD	-	
3	36	80	1-3/4"	B	SC WD	-	SC WD	-	20 MINUTE FIRE RATED
4	36	80	1-3/4"	B	SC WD	-	SC WD	-	20 MINUTE FIRE RATED
5	36	80	1-3/4"	B	SC WD	-	SC WD	-	
6	36	80	1-3/4"	C	SC WD	B	SC WD	B	MAID ROOM ENTRY
7	36	80	1-3/4"	B	SC WD	-	SC WD	-	
8	36	80	1-3/4"	B	SC WD	-	SC WD	-	
9	24	80	1-3/4"	B	SC WD	-	SC WD	-	
10	30	80	1-3/4"	B	SC WD	-	SC WD	-	
11	36	80	1-3/4"	C	SC WD	B	SC WD	B	DEB ENTRY
12	34	80	1-3/4"	B	SC WD	-	SC WD	-	
13	48	80	1-3/4"	D	SC WD	-	SC WD	-	
14	48	80	1-3/4"	D	SC WD	-	SC WD	-	
15	36	80	1-3/4"	D	SC WD	C/B	SC WD	C/B	MAIN ENTRY W/ SIDELIGHT E
16	30	80	1-3/4"	B	SC WD	-	SC WD	-	
17	36	80	1-3/4"	C	SC WD	B	SC WD	B	GREAT ROOM ENTRY
18	36	80	1-3/4"	C	SC WD	B	SC WD	B	KITCHEN ENTRY
19	30	80	1-3/4"	B	SC WD	-	SC WD	-	
20	34	80	1-3/4"	B	SC WD	-	SC WD	-	
21	30	80	1-3/4"	D	SC WD	-	SC WD	-	
22	34	80	1-3/4"	D	SC WD	-	SC WD	-	
23	36	80	1-3/4"	D	SC WD	-	SC WD	-	
24	30	80	1-3/4"	D	SC WD	-	SC WD	-	
25	34	80	1-3/4"	D	SC WD	-	SC WD	-	
26	30	80	1-3/4"	D	SC WD	-	SC WD	-	
27	34	80	1-3/4"	D	SC WD	-	SC WD	-	
28	30	80	1-3/4"	D	SC WD	-	SC WD	-	
29	34	80	1-3/4"	D	SC WD	-	SC WD	-	
30	34	80	1-3/4"	D	SC WD	-	SC WD	-	
31	72	80	1-3/4"	D	SC WD	-	SC WD	-	
32	30	80	1-3/4"	B	SC WD	-	SC WD	-	
33	30	80	1-3/4"	B	SC WD	-	SC WD	-	
34	30	80	1-3/4"	B	SC WD	-	SC WD	-	
35	36	80	1-3/4"	C	SC WD	B	SC WD	B	BATH 2 ENTRY

WINDOW SCHEDULE									
MARK	UNIT		THICKNESS	TYPE	FRAME	GLAZING	COMMENTS		
	WIDTH	HEIGHT							
A	30" x 50"	40"	1-3/4"	CS/CS	AL	A	EXIT		
B	30"	4" x 22"	1-3/4"	4" x 4"	AL	A			
C	42"	4" x 22"	1-3/4"	4" x 4"	AL	A			
D	30"	36"	1-3/4"	CS	AL	A			
E	24"	76"	1-3/4"	F	AL	A			
F	36" x 36"	56" x 24"	1-3/4"	F/A	AL	A			
G	36"	56" x 24"	1-3/4"	F/A	AL	A			
H	24"	56" x 24"	1-3/4"	F/A	AL	A			
I	24"	36"	1-3/4"	A	AL	A			
J	48"	36"	1-3/4"	A	AL	A			
K	48"	36" x 24"	1-3/4"	A	AL	A			
L	24"	36" x 24"	1-3/4"	A	AL	A			
M	24"	24"	1-3/4"	A	AL	A			
N	4" x 30"	36" x 18"	1-3/4"	4" F/ANA	AL	A			
O	2" x 30"	36" x 18"	1-3/4"	2" CS/2" XA	AL	A	EXIT		
P	3" x 24"	36"	1-3/4"	3" x CS	AL	A			
Q	3" x 24"	36" x 18"	1-3/4"	3" CS/3" XA	AL	A	EXIT		
R	2" x 24"	24"	1-3/4"	2" x A	AL	A			
S	45"	54" x 24"	1-3/4"	CS/A	AL	A			
T	24"	24"	1-3/4"	F	AL	A			
U	45"	24"	1-3/4"	F	AL	A			
V	3" x 24"	24"	1-3/4"	F	AL	A			
W	2" x 24"	24"	1-3/4"	F	AL	A			
X	3" x 36"	24"	1-3/4"	A	AL	A			



Design + Build
San Francisco, CA 94116
Tel: 415.333.1299
Fax: 415.333.1298

DRAWING NOTES

NOTES FOR A/LAO EXISTING SITE PLAN
ALL WORK SHOWN IS EXISTING

1. FOOTPRINT OF BUILDING

2. MAIN ENTRY TO BUILDING ON UPPER LEVEL

3. GARAGE ENTRY AT LOWER LEVEL

4. PUBLIC CONCRETE SIDEWALK AND CURB

5. CONCRETE CURB C. -

6. NOT USED

7. WOOD FENCE

8. WOOD FENCE GATE

9. CONCRETE PAVED DRIVEWAY

10. CONCRETE PAVED WALKWAY

11. RETAINING WALL

12. LINE OF UPPER LEVEL DECK ABOVE GROUND

13. LINE OF UPPER LEVEL BUILDING ABOVE GROUND

14. EXTERIOR PORCH

15. CONCRETE STAIRS ON GRADE

16. WOOD STAIRS TO UPPER LEVEL DECK

17. PLANTED LANDSCAPING

18. UNDEVELOPED GRADE

NOTES FOR BALO EXISTING ROOF PLAN
ALL WORK SHOWN IS EXISTING

19. BITUMINOUS ROOFING SYSTEM SLOPED TO DRAIN AS INDICATED

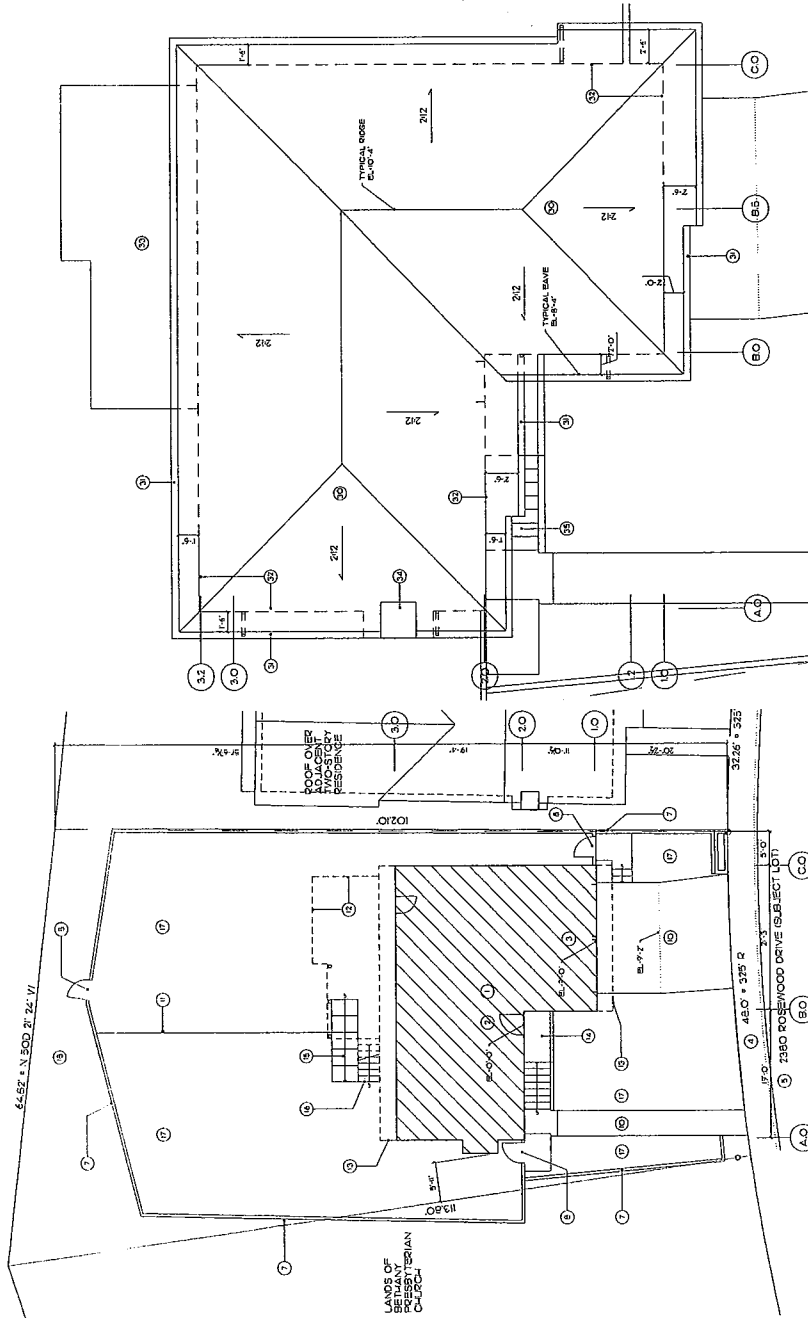
20. GALVANIZED SHEET METAL BUTTERS

21. LINE OF BUILDING BELOW (DASHED)

22. EXTERIOR UPPER LEVEL WOOD DECK SURROUND

23. CONCRETE MASONRY CHIMNEY

24. EXTERIOR STAIRS AND UPPER LEVEL ENTRY PORCH



ROOF PLAN
SCALE 1/4"=1'-0"

SITE PLAN
SCALE 1/8"=1'-0"

Tom Residence

2380 Rosewood Drive
San Bruno, California
APN 4019 181 030

PROJECT

NO. DATE

1 10/01/04

2 10/01/04

3 10/01/04

4 10/01/04

5 10/01/04

6 10/01/04

7 10/01/04

8 10/01/04

9 10/01/04

10 10/01/04

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DRAWING NOTES

- FOOTPRINT OF PROPOSED ADDITION
- FOOTPRINT OF EXISTING BUILDING
- LINE OF BUILDING ABOVE SHOWN (DASHED)
- EXISTING GARAGE ENTRY AT LOWER LEVEL
- EXISTING CONCRETE CURB OUT
- EXISTING 2.3' AC SIDEWALK AND CONCRETE CURB
- EXISTING WOOD FENCE
- EXISTING WOOD FENCE GATE
- EXISTING CONCRETE PAVED DRIVEWAY
- EXISTING CONCRETE PAVED WALKWAY
- STONE PAVED PATIO ON GRADE
- STONE PAVED STEPS ON GRADE
- EXISTING BRICK ENTRY PATIO
- UNPAVED LANDSCAPING AREA
- UNDEVELOPED GRADE
- ENTRY DOOR TO UPPER LEVEL
- ENTRY DOOR TO LOWER LEVEL

The site plan illustrates the proposed addition to the Bethany Presbyterian Church. The existing footprint is shown with a dashed line, and the new footprint is indicated by a solid line. The plan includes various annotations such as 'NEW FOOTPRINT', 'EXISTING FOOTPRINT', and 'ADJACENT SINGLE FAMILY RESIDENCE'. A north arrow is located in the upper right corner. The plan also shows the church's proximity to Rosewood Drive and the City of San Bruno. Dimensions and bearings are provided for the property boundaries and the new addition. The plan is divided into sections labeled with letters (A through S) and numbers (1 through 12).

LANDS OF BETHANY PRESBYTERIAN

LANDS OF THE CITY OF SAN BRUNO

ADJACENT SINGLE FAMILY RESIDENCE

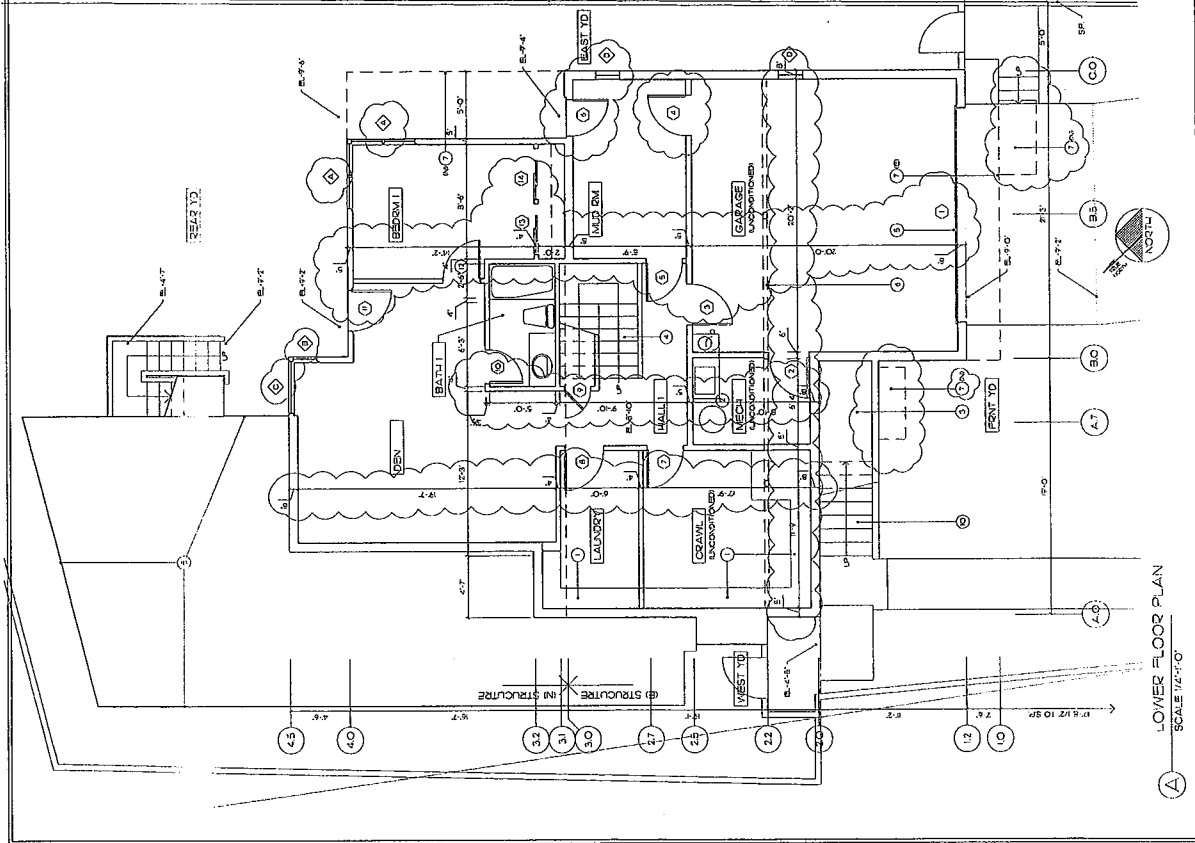
ROSEWOOD DRIVE

SCALE 1/8"=1'-0"

SITE PLAN

SCALE 1/8"=1'-0"

- DRAWING NOTES**
1. RAISED CONCRETE SHELF OVER PERIMETER FOUNDATION
 2. MECHANICAL GAS FIRED HOT WATER HEATER AND FORCED AIR FURNACE
 3. VENTILATED CRAWL SPACE UNDER EXTERIOR ENTRY PORCH AND STAIR ABOVE
 4. INTERIOR STAIR TO UPPER LEVEL
 5. EXIST'G OVER-SIZED GARAGE DOORS
 6. EXISTING STRUCTURAL WOOD GIRDERS ABOVE
 7. DASHED LINE OF UPPER LEVEL ABOVE
 8. UNDER EXTERIOR PATIO ABOVE
 9. EXTERIOR STAIR TO UPPER LEVEL REAR PATIO
 10. EXISTING EXTERIOR STAIR TO UPPER LEVEL ENTRY PORCH



LOWER FLOOR PLAN
SCALE 1/4"=1'-0"




NO	DATE	REVISION
1	11/08/06	PLANNING APPLICATION
2	11/08/06	PLANNING APPROVAL
3	11/08/06	PLANNING APPROVAL
4	11/08/06	PLANNING APPROVAL
5	11/08/06	PLANNING APPROVAL
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100	11/08/06	PLANNING APPROVAL

renovation is
Tom Residence
 2380 Russwood Drive
 San Bruno, California
 APN #019 181 050

LOWER FLOOR PLAN

DATE	11/08/06	SCALE	1/4"=1'-0"
DRAWN BY	SP	CHECKED BY	DWF
DESIGNED BY	SP	APPROVED BY	SP

A2.1
 SHEET 1 OF 12



d+b
Design + Build
 240 Pioneer Avenue
 San Bruno, CA 94066
 Tel: 415.333.5555
 Fax: 415.333.5556
 web: d+bbuild.com

22	2/06/07	PLANNING APPL. #2
24	11/06/06	PLANNING APPL. #1
7	11/06/06	PLANNING APPLICATION
1	11/06/06	OWNER APPROVAL
NO	DATE	REVISION

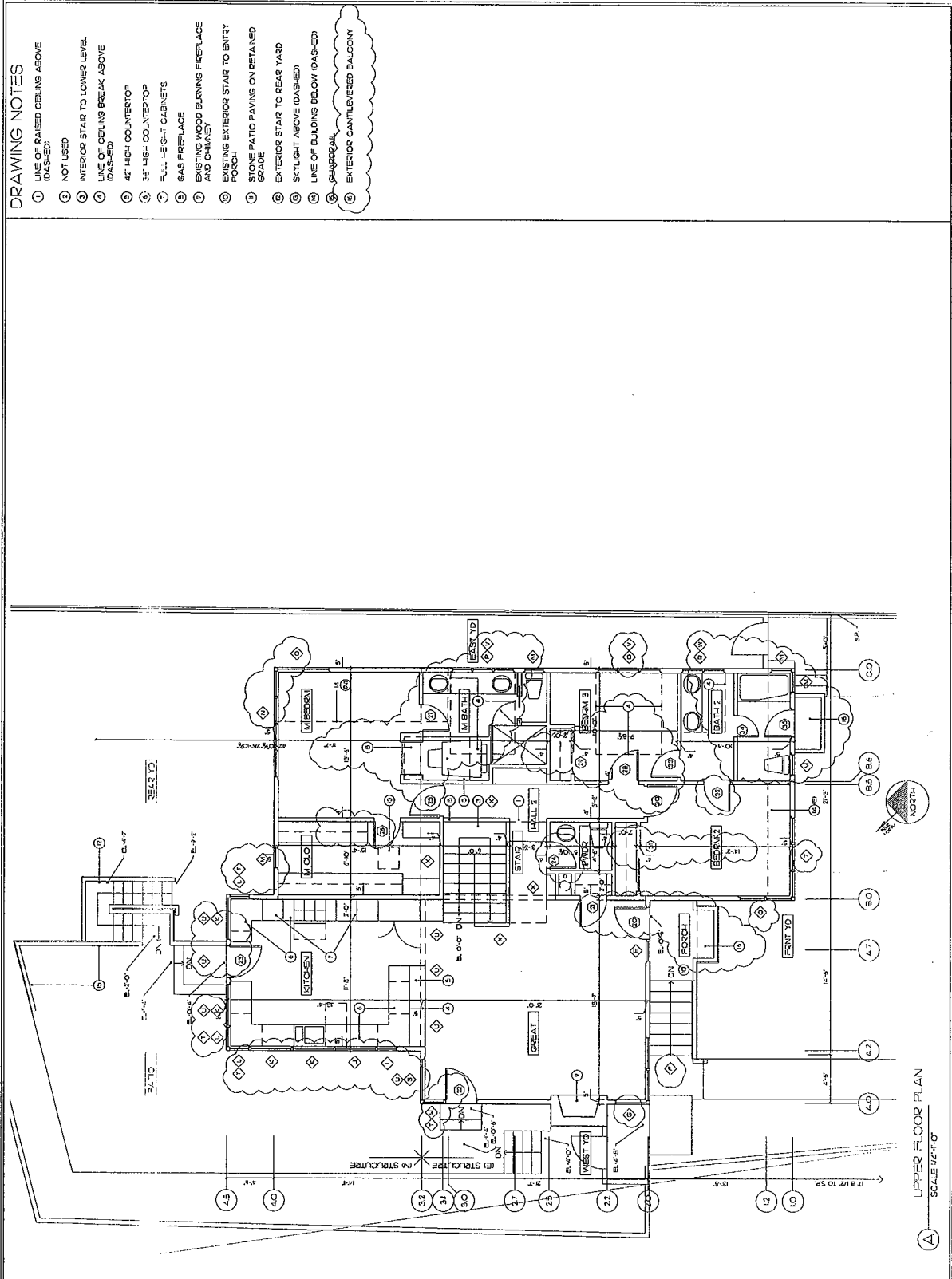
PROJECT: renovation to
Tom Residence
 2380 Reswood Drive
 San Bruno, California
 APN #019 181 D80

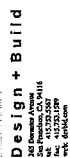
DRAWING TITLE:
UPPER FLOOR PLAN

NOTE: THIS ORIGINAL SET OF PLANS WAS PREPARED FOR THE CITY OF SAN BRUNO. IT IS THE PROPERTY OF THE CITY OF SAN BRUNO. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE CITY OF SAN BRUNO.

DATE	2/06/07	SCALE	1/4"=1'-0"
DRAWN BY	239	CHECKED BY	D/P
SHEET NUMBER	A2.2		

SHEET 8 OF 12



[illegible]

Tom Residence
2380 Rosewood Drive
San Bruno, California
APN #019 181 080

DRAWING TITLE: ROOF PLAN

NOTE: THE ORIGINAL SIZE OF THIS SHEET IS 24" X 36". NOMINAL IN YOUR COPY IS A DIFFERENT SIZE. IT HAS BEEN ENLARGED OR REDUCED WHICH AFFECTS THE SCALE.

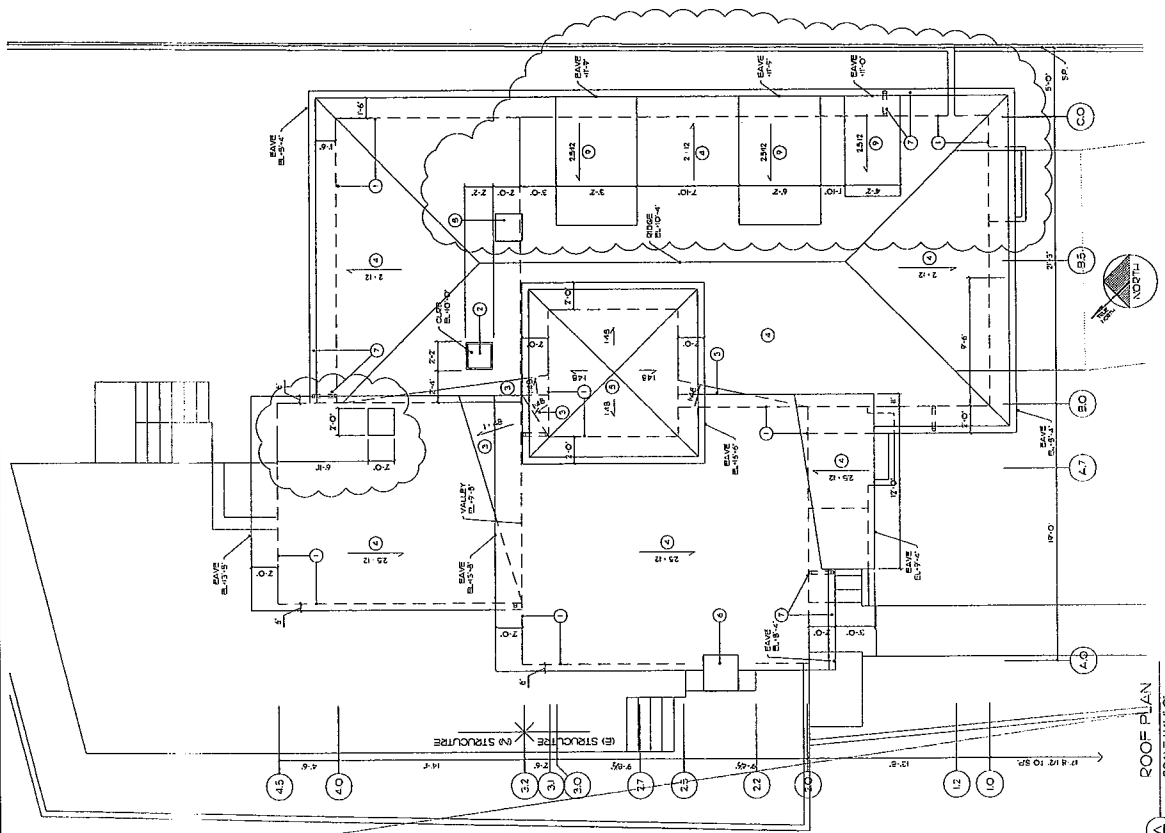
DATE	2106/07	SCALE	1/2"=1'-0"
ECH	=0502	BY	D/H/
SCALE		SHEET NUMBER	

A2.3

1000

DRAWING NOTES

- 1 LINE OF BUILDING BELOW (DASHED)
- 2 CLRB MOUNTED SKYLIGHT
- 3 DRAINAGE CROCKET W/ SELF-ADHESIVE MEMBRANE ROOFING SYSTEM
- 4 COMPOSITION SINGLE ROOFING SYSTEM
- 5 SINGLE PLY BITUMINOUS ROOFING SYSTEM SLOPED 1/4" TO DRAIN
- 6 CONCRETE MASONRY 12" x 24" VENT SURROUND W/ GALVANIZED SHEET METAL CAP
- 7 GALVANIZED SHEET METAL GUTTERS W/ DOWNSPOUTS TO SPASH BLOCKS (IN PLACE)
- 8 STUCCO FINISHED FIVE SURROUND W/ GALVANIZED SHEET METAL CAP
- 9 STUCCO FINISHED S-EED GABLE W/ COMPOSITION SINGLE ROOFING


$$200 = p \frac{1}{1.05}$$

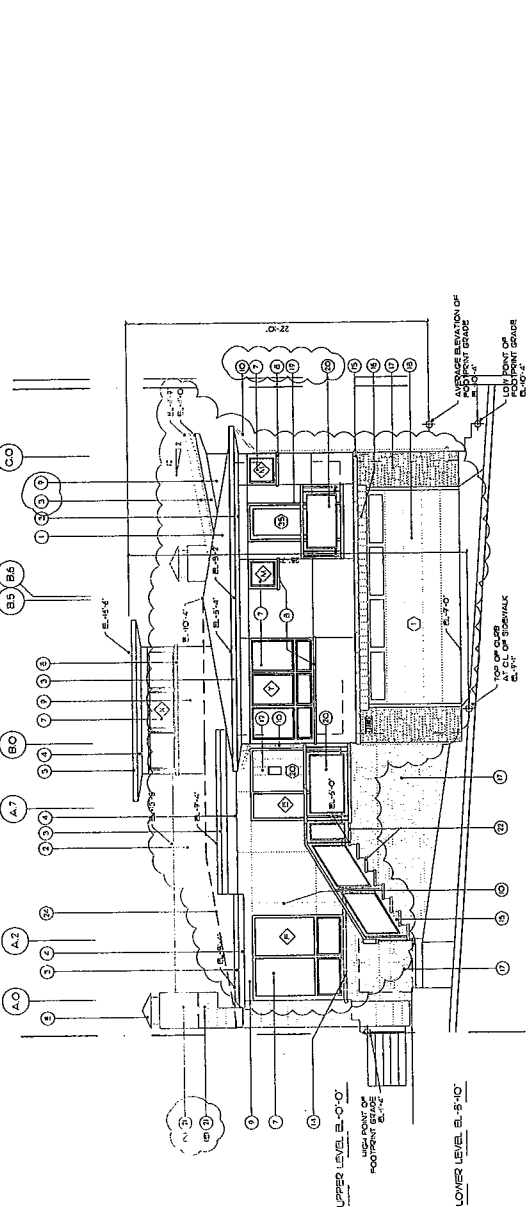


Design + Build

245 Duane Avenue
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Fax: 415.333.5558
www.d+b.com

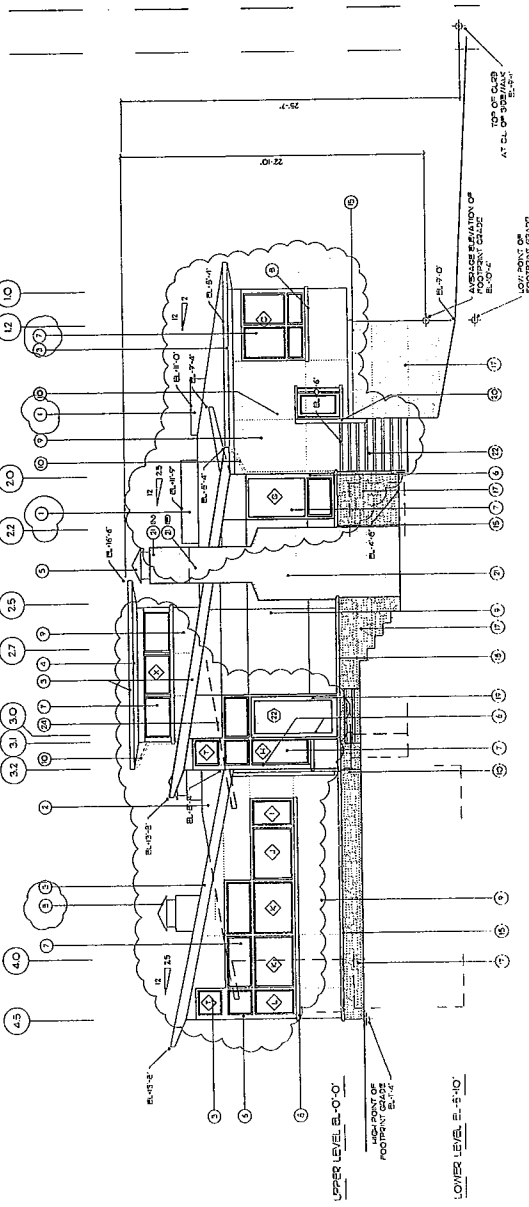
DRAWING NOTES

1. COMP SINGLE ROOFING FOR LOW SLOPE APPLICATION IN NEWERANE SLOPE OF SEATING AND STRUCTURE
2. COMP SINGLE ROOFING FOR LOW SLOPE APPLICATION IN NEWERANE SLOPE OF SEATING AND STRUCTURE
3. PTD W/2 ZASOLA
4. PTD 1/2 SLOPE
5. PTD 1/2 SLOPE
6. NOT USED
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100. 1/2 SLOPE



A SOUTH (FRONT) ELEVATION

SCALE 1/4"=1'-0"



B WEST (LEFT) ELEVATION

SCALE 1/4"=1'-0"

Tom Residence
2380 Reswood Drive
San Bruno, California
APN #019 181 080

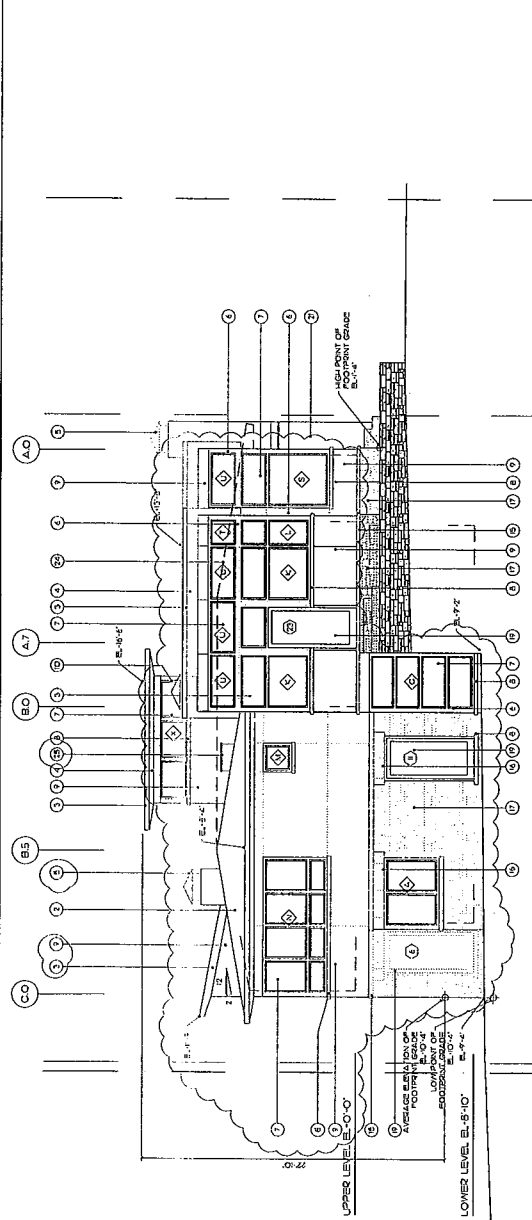
DRAWING TITLE
WEST (FRONT)
AND SOUTH (RIGHT)
ELEVATIONS

NOTE: THE ORIGINAL SET OF THIS SHEET
SHALL BE KEPT IN THE PROJECT ARCHIVE
FOR A MINIMUM OF 10 YEARS AFTER THE
DATE OF RECORD MAPS IMPACTS THE SCALE
DATE 2/06/07 SCALE 1/4"=1'-0"
JOB #0602 D/W
SHEET NUMBER

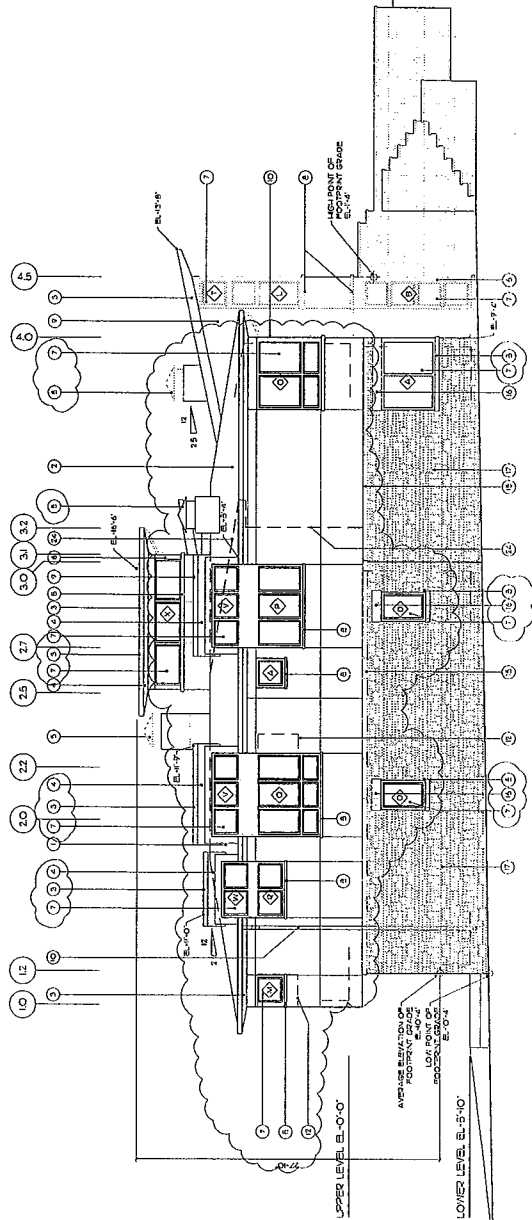
A3.1
SHEET 10 OF 18

DRAWING NOTES

- 1 COMP SHINGLE ROOFING FOR LOW SLOPE APPLICATION OF AN OVERHANG (B) ROOF SEATING AND STRUCTURE
- 2 COMP SHINGLE ROOFING FOR LOW SLOPE APPLICATION OF AN OVERHANG (B) ROOF SEATING AND STRUCTURE
- 3 PTD MID FASCIA
- 4 3" x 1/2" SCREW
- 5 2" x 6" GUTTER WITH F-FLY CLAP
- 6 NOT USED
- 7 JAMB/2" WINDOW ASSEMBLY
- 8 PTD GFCO SILL TRIM
- 9 PTD STUCCO FINISH W/ MPL EXPANSION JOINT
- 10 PTD GSM DOWNPOUT FROM GSM DOWNPOUT TO CONIC SPLASH BLOCK
- 11 NOT USED
- 12 LINE OF (B) WINDOW OPENINGS TO BE BROUGHT
- 13 NOT USED
- 14 NOT USED
- 15 STONE VENEER WATERBABLE MOLDING
- 16 STONE VENEER TRIMSTONE MOLDING
- 17 STONE VENEER FIBERSTONE
- 18 PTD MID/SL OVERHEAD DOORS
- 19 NOT USED
- 20 METAL GUARDRAIL
- 21 PTD CONC MASONRY UNIT CLAMPEL SURROUND
- 22 (B) STAIR
- 23 (B) SIDEWALK CURB
- 24 LINE OF (B) BUILDING ENVELOPE (DASHED)
- 25 CURB MOUNTED SKYLIGHT



A NORTH (REAR) ELEVATION
SCALE 1/4"=1'-0"



B EAST (RIGHT) ELEVATION
SCALE 1/4"=1'-0"

NO.	DATE	REVISION
1	NOV06	OTHER APPROVAL
2	NOV06	PLANNING APPROVAL
3	NOV06	PLANNING APPROVAL
4	NOV06	PLANNING APPROVAL
5	NOV06	PLANNING APPROVAL
6	NOV06	PLANNING APPROVAL
7	NOV06	PLANNING APPROVAL
8	NOV06	PLANNING APPROVAL
9	NOV06	PLANNING APPROVAL
10	NOV06	PLANNING APPROVAL
11	NOV06	PLANNING APPROVAL
12	NOV06	PLANNING APPROVAL
13	NOV06	PLANNING APPROVAL
14	NOV06	PLANNING APPROVAL
15	NOV06	PLANNING APPROVAL
16	NOV06	PLANNING APPROVAL
17	NOV06	PLANNING APPROVAL
18	NOV06	PLANNING APPROVAL
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27	NOV06	PLANNING APPROVAL
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29	NOV06	PLANNING APPROVAL
30	NOV06	PLANNING APPROVAL
31	NOV06	PLANNING APPROVAL
32	NOV06	PLANNING APPROVAL

Tom Residence
2380 Russwood Drive
San Bruno, California
APN #018 151 000

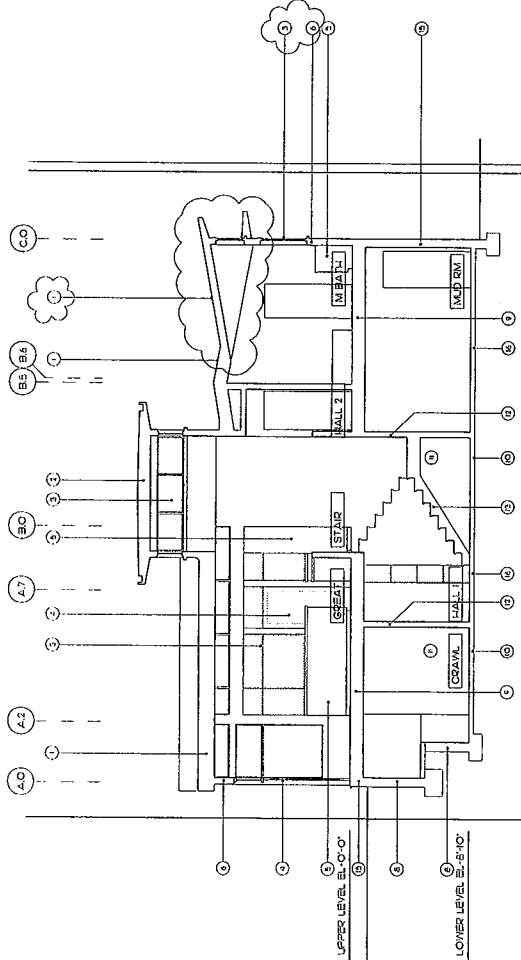
DRAWING TITLE
EAST (REAR)
AND NORTH (LEFT)
ELEVATIONS

DATE: 2/06/07
SCALE: 1/4"=1'-0"
BY: [signature]
CHECKED: [signature]
DATE: 2/06/07

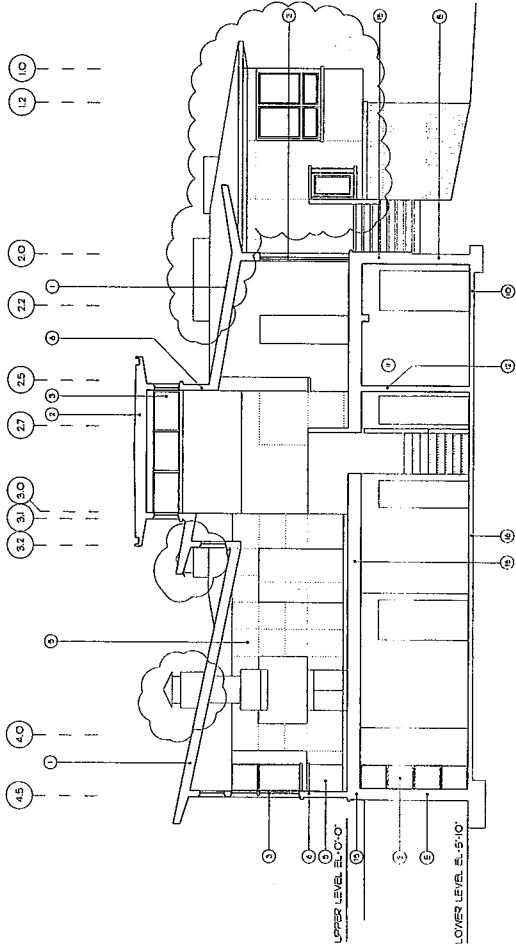
A3.2
SHEET 1 OF 12

DRAWING NOTES

1. GYP SINGLE ROOFING O/L CM/STUDS W/ R-30 BATT INSULATION O/ WD PLANK OR GYP BRD FINISH CEILING
2. BITUMINOUS ROOFING O/ TAPEDED INSULATION O/ WD PLANK OR GYP BRD FINISH CEILING
3. ALUMINUM FRAME WINDOWS W/ INSULATED TINTED GLASS
4. EXTERIOR WOOD DOOR WITH INSULATED TINTED SAFETY GLASS PANEL
5. MILLWORK CABINET FIXTURES
6. STUCCO PLASTER EXTERIOR FINISH O/ BREATHABLE BLDG PAPER O/ PLTYWD SHEATHING O/ WD STUDS W/ R-15 BATT INSULATION O/ GYP BRD INTERIOR FINISH
7. NOT USED
8. BITUMINOUS MEMBRANE AND DRAINAGE COLLECTION SYSTEM O/ REINFORCED CONCRETE SLAB W/ R-30 BATT INSULATION O/ GYP BRD INTERIOR FINISH
9. FINISH WD FLOORING O/ PLTYWD SUBFLOOR O/ WD JOISTS W/ R-30 BATT INSULATION O/ WD PERMANENT CHANNELS W/ GYP BRD FINISH CEILING
10. FINISH REINFORCED CONCRETE SLAB W/ PERMANENT INSUL ON TOP O/ VAPOR BARRIER IN SAND BED O/ GRAVEL BED O/ COMPACTED GRADE
11. UNCONDITIONED SPACE
12. GYP BRD FINISH ON BOTH SIDES OF WD STUDS W/ FULL THICK ACoustICAL BATT INSULATION
13. FINISH WD STAIR TREADS AND RISERS O/ WD STRINGERS W/ R-30 BATT INSULATION
14. NOT USED
15. STONE VENEER O/ CEMENT PLASTER AND METAL LATH SCRATCH-COAT O/ BREATHABLE BLDG PAPER O/ WD SHEATHING O/ WD STUDS W/ R-15 BATT INSULATION O/ GYP BRD INTERIOR WD FINISH
16. FINISH WD FLOORING O/ PLTYWD SUBFLOOR O/ WD SLEEPERS W/ RIGID INSULATION O/ SLIP SHEET O/ REINFORCED CONCRETE SLAB O/ SAND BED W/ VAPOR BARRIER O/ GRAVEL BED O/ COMPACTED GRADE WITH DRAINAGE COLLECTION SYSTEM
17. NOT USED



A LATERAL BUILDING SECTION
SCALE 1/4"=1'-0"



B LONGITUDINAL BUILDING SECTION
SCALE 1/4"=1'-0"

25	7/10/07	PLANNING APP'L #2
26	10/10/08	PLANNING APP'L #1
27	1/10/09	PLANNING APPLICATION
NO. DATE	REVISION	
PROJECT	revision 16	

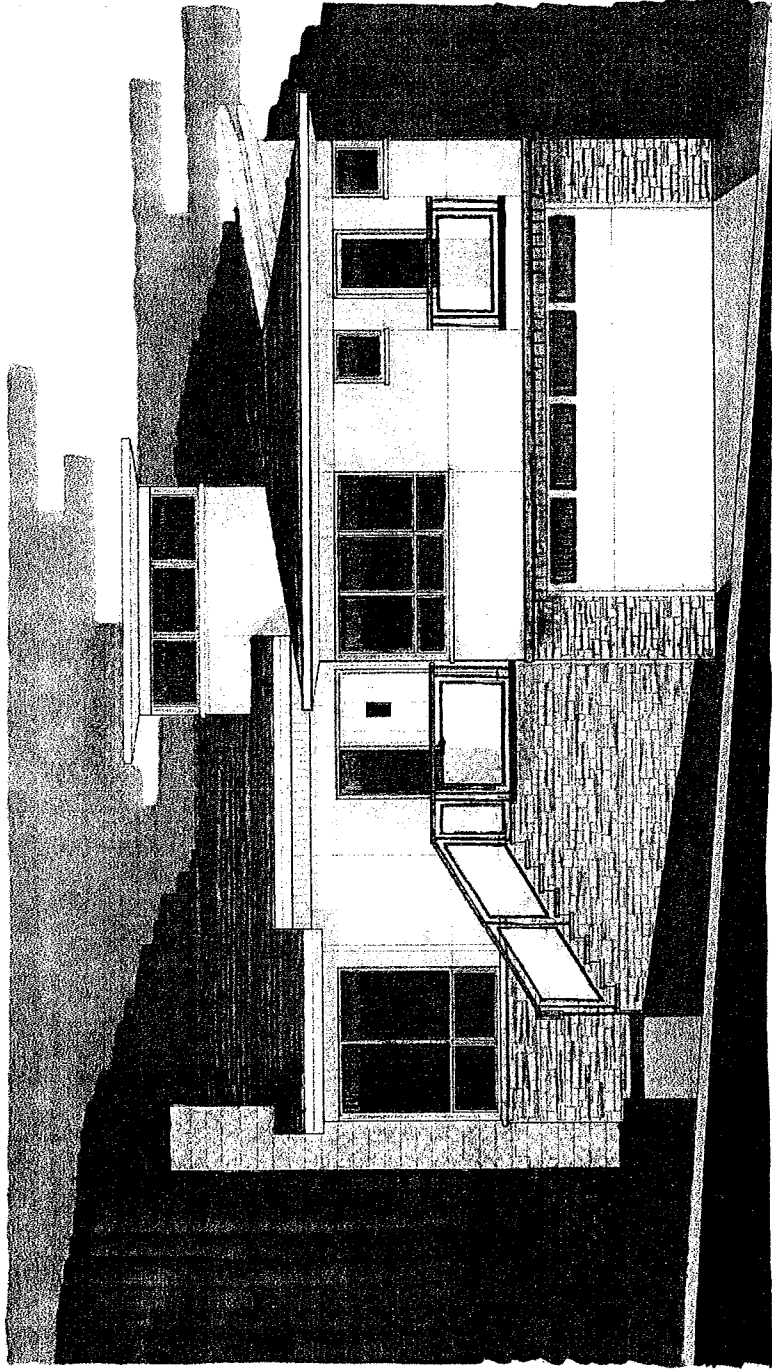
Tom Residence
2330 Rosewood Drive
San Bruno, California
APN #018 181 090

DRAWING TITLE
**LATERAL AND
LONGITUDINAL
BUILDING SECTIONS**

DATE	2/06/07	SCALE	1/4"=1'-0"
SHEET	0602	DWIF	
SHEET NUMBER			

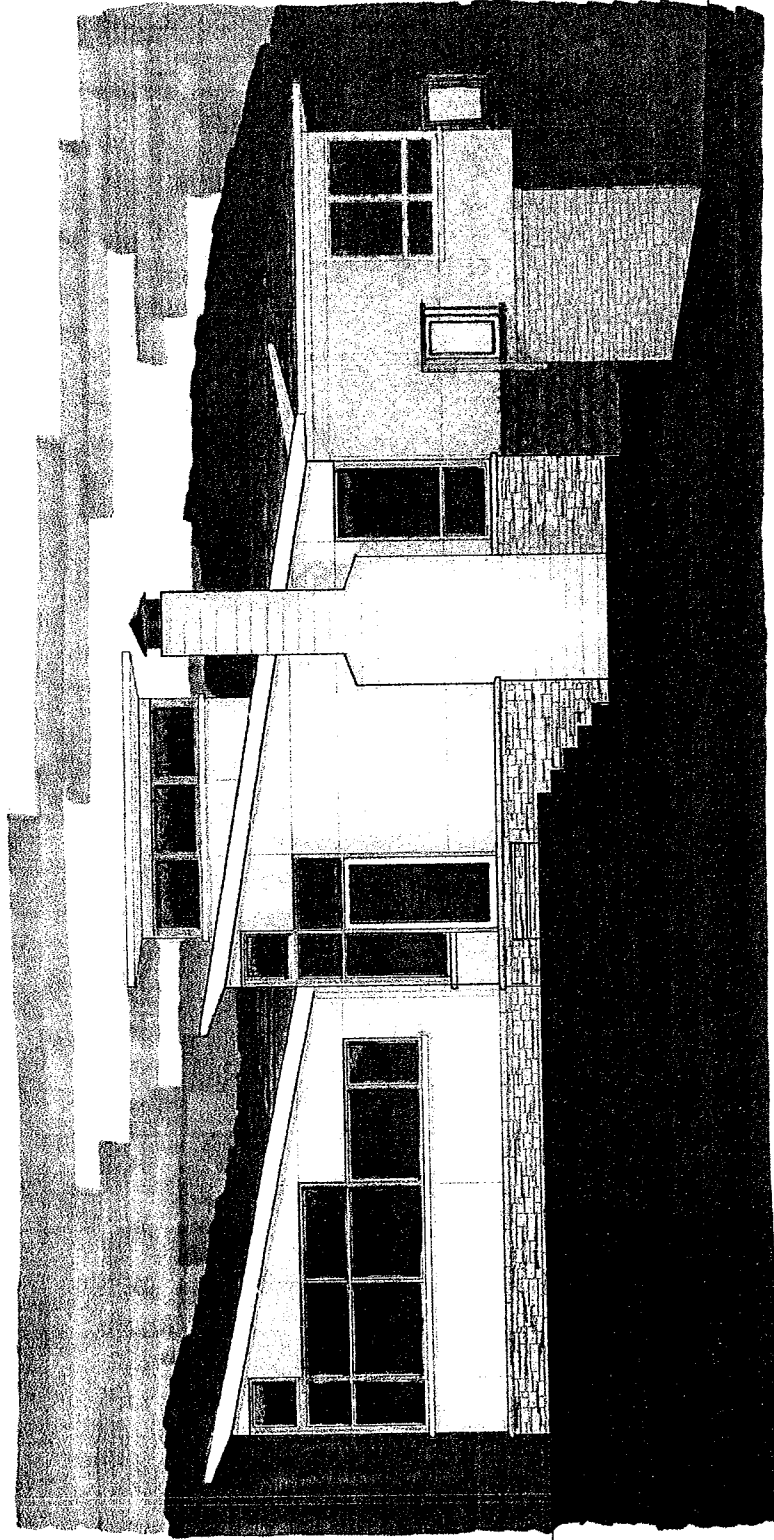
A4.1

SHEET 4 OF 11



Tom Residence
2380 Rosewood Drive
San Bruno, CA

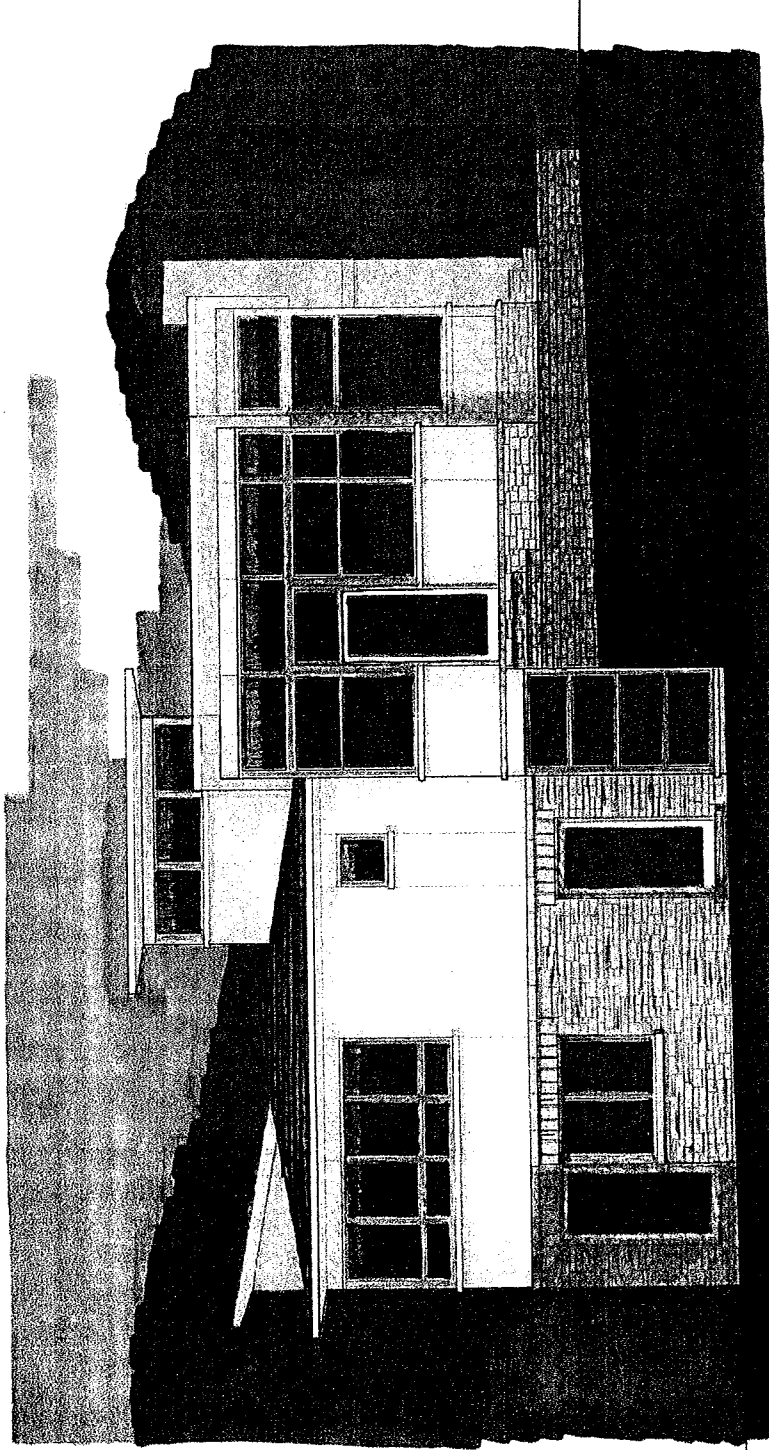
d+b
Design + Build



Tom Residence
2380 Rosewood Drive
San Bruno, CA



Design + Build



Tom Residence
2380 Rosewood Drive
San Bruno, CA

d+b
Design + Build



Exhibit C – Photo of Existing Site



Design + Build

Architecture
Design
Planning
Construction Management

December 7, 2006

MEMORANDUM

To: Lisa Costa Sanders
Planning Department
City of San Bruno
Via e-mail: lsanders@sanbruno.ca.gov

From: Douglas W. Fong, AIA

RE: Perspective Sketches
2380 Rosewood Drive
Appl # UP06-030

Lisa:

Per our telephone conversation, we are aware that the Planning Department will be presenting our project before the Architecture Review Board on 12/14/06. We understand that the presentation will be made without a recommendation for approval based on the following issues:

- Significant exterior revisions required to incorporate the architectural style with the existing residence.
- Elimination of the tower element

We appreciate the opportunity to present our project before the ARB, and would request that staff and the ARB consider the following supplemental information in consideration of our proposal:

- The property is at the edge of a steep slope with great vistas to the north or rear of the property.
- The adjacent building to the west (Bethany Church) is several hundred feet away, with a parking lot and dense brush between.
- The neighbor to the east (Single Family Dwelling) shares a thin side yard, and our proposal does not extend past their building. Our major rear yard activity space is located on the east side away from their property.
- The renovation proposes to orient the home to take advantage of these views, using thin sash panoramic windows to the rear.
- As these types of windows are not typical to the existing home or surrounding neighborhood street space, the addition has been carefully oriented to the rear so that neither the increased massing nor panoramic window design is evident from surrounding public spaces.

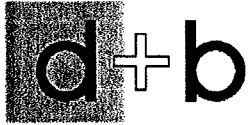
Please review the attached set of photographs overdrawn with perspective sketches indicating the relation of the building to the existing site conditions.

- Page One shows the site as viewed from Rosewood Drive in front of the Bethany property. 2380 is the house in the middle with the car in the driveway.
- Page Two is the same photograph, with sketch lines showing the massing of the existing and proposed structures to the rear where they are not visible due to the dense vegetation. Please note that the massing and materials used in the proposed Rosewood Street Elevation is virtually unchanged from the existing.
- Page Three is a photograph/sketch montage of the existing and proposed rear yard view, expressing the true purpose of the renovation. Note that this elevation is expressive of the view, but not visible from any adjacent properties due to the characteristics of the terrain.

We understand the staff's concerns regarding the tower element. This element is designed to allow natural sunlight to enter the interior at all times of the day. The design intends to limit the height to only what is required to achieve wraparound windows, and to be located in the center of the building so as to be least imposing on surrounding spaces. We look forwards to receiving input from staff and the ARB as to how our goals might be more appropriately met.

Thank you for your assistance and consideration.

DWF



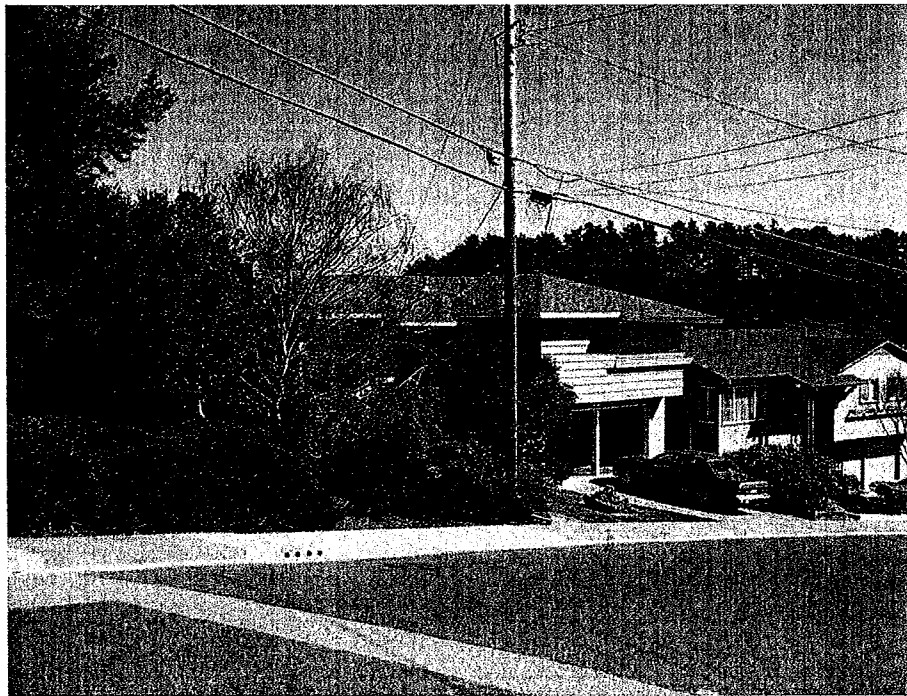
Design + Build

Architecture
Design
Planning
Construction Management

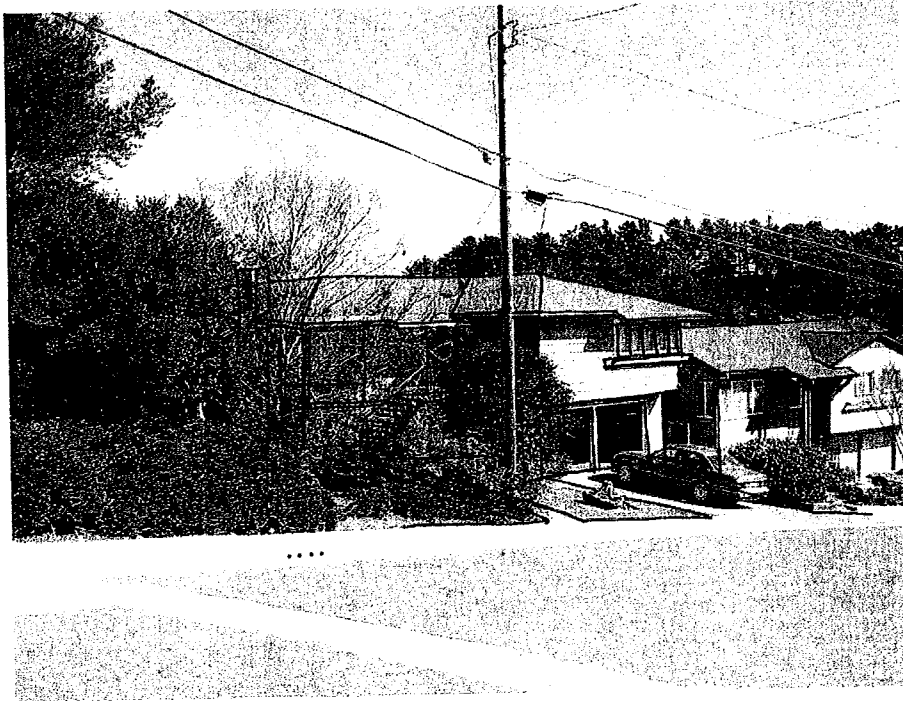
December 7, 2006

PERSPECTIVE SKETCHES

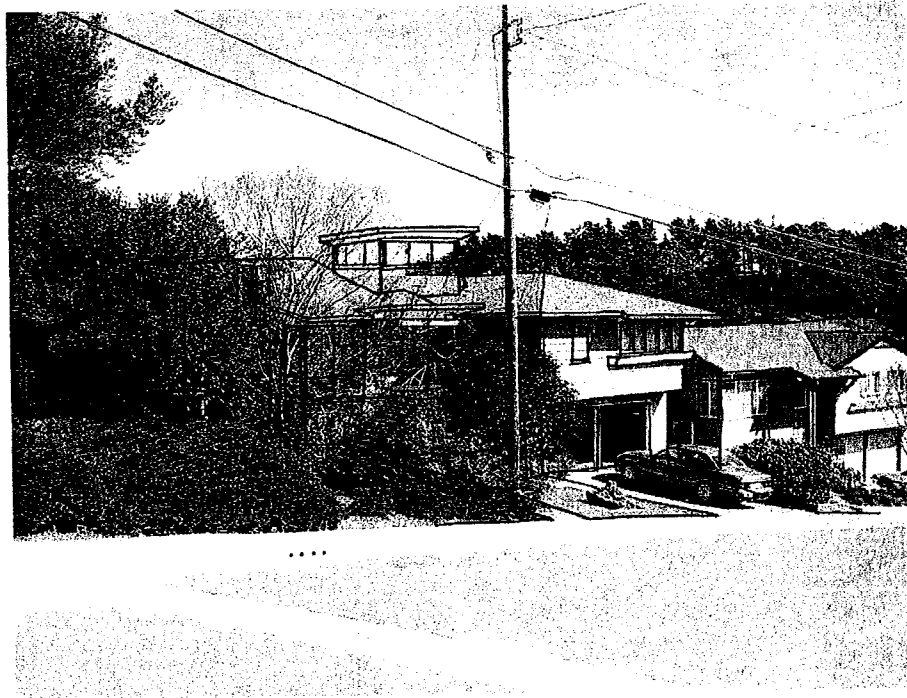
**Addition to
Tom Residnece
2380 Rosewood Drive
San Bruno, CA 94066**



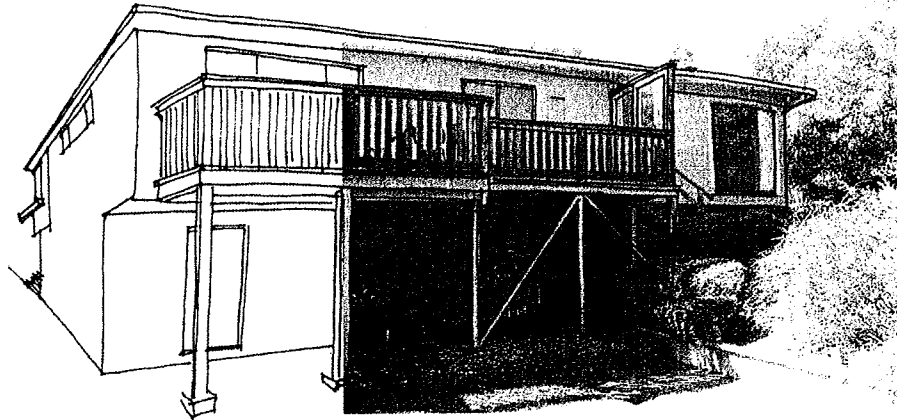
Existing Condition - Rosewood Drive Side
(subject property in middle)



Existing Condition – Massing Sketch - Rosewood Drive Side
(subject property in middle)



Proposed Addition – Massing Sketch - Rosewood Drive Side
(subject property in middle)



Existing Condition – Massing Sketch – Rear Yard Side



Proposed Addition – Massing Sketch – Rear Yard Side

CITY OF SAN BRUNO

COMMUNITY DEVELOPMENT DEPARTMENT



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
<http://www.ci.sanbruno.ca.us>

STAFF

Aaron Aknin, AICP, *Interim Comm. Development Director*
Mark Sullivan, AICP, *Housing and Redevelopment Manager*
Lisa Costa Sanders, *Acting Planning Manager*
Tony Rozzi, *Assistant Planner*
Laura Russell, *Assistant Planner*
Pamela Thompson, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
Bob Marshall, Jr, *Vice-Chair*
Kevin Chase
Mary Lou Johnson
Perry Petersen
Joe Sammut
Sujendra Mishra

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. E.2
March 20, 2007**

PROJECT LOCATION

1. Address: 2325 Valleywood Drive
2. Assessor's Parcel No: 017-201-040
3. Zoning District: R-1 (Single-Family Residential District)
4. General Plan Classification: Low Density Residential

EXHIBITS

- A: Site Location
B: Site Plan, Floor Plans, and Elevations
C: Photos

REQUEST

Request for a Use Permit to allow the construction of an addition with a total Floor Area of 3,371 square feet (.552) which exceeds the Floor Area standard of .55 per Section 12.200.030.A.1 and exceeds 2,800 square feet with a two car garage per Section 12.96.060.D.4.c of the San Bruno Zoning Ordinance. Robert Wallace (Owner/Applicant) **UP-06-042**

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 06-42 based on Findings of Fact 1-6 and subject to conditions 1-11.

REVIEWING AGENCIES

Community Development Department
Public Works Department
Fire Department

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on March 9, 2007.
2. Advertisement published in the *San Mateo Daily Journal*, Saturday, March 10, 2007.

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15303(A): New Construction of a Single Family Residence/Conversion of a Structure.

EXISTING CONDITIONS

The subject property is located on the south side of Valleywood Drive, between Fernwood and Evergreen Drive. This is a rectangular-shaped lot with a standard total size of 6,714 square feet. The lot 50' wide at the front and 55.61' wide at the rear with a depth of 130' at the east side and 126.55' at the west side. The property is currently developed with a four bedroom and three bathroom, 2,681 square foot two-story residence with an attached two-car garage. The existing home has a 5'-0" east side yard setback and 5'-6" west side yard setback. This home was built in 1956. Adjacent to the subject property are other single-family structures.

SURROUNDING LAND USES

North: South San Francisco, single-family residential
 South: Fernwood Drive - R-1 Zone, single-family residential
 East: Fernwood Drive - R-1 Zone, single-family residential
 West: Evergreen Drive - R-1 Zone, single-family residential

PROJECT INFORMATION

The proposed project is for a main level remodel and addition at the front of the home, enclosing a portion of the existing porch and second story addition. The project would add 63 square feet to the main level to expand the kitchen and add 627 square feet to the upper level at the west side to create a new master bedroom suite. As part of this proposal, an existing two-car garage would remain.

If approved and constructed, this would be a 4 bedroom, one den and 4 bathroom home. Project details are shown in the following table:

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	Same
Lot Area		5,000 s.f.	6,714 s.f. (6,110 s.f. adjusted)*	same
Lot Coverage		2,200 s.f. (44%)	2,004 s.f. (32.8%)	2,020 (33.1%)
Gross Floor Area		2,750 s.f.	2,681 s.f.	3,371 s.f.
Floor Area Ratio		.55	.44	.552
Building Setbacks	Front	15'-0"	20'-0"	same
	Rear	10'-0"	48'-0"	same
	E Side W Side	5'-0"	5'-0" 5'-6"	same
Building Height		28'-0"	21'-0"	26'-3"
Covered Parking		2 spaces	2 space	2 space

(*) Notes:

- Adjusted lot size is 6,110 square feet (adjusted factor of .91)
- Proposed FAR is .552 > .55 guideline

- Proposed total living area 2,986 s.f. > 2,800 s.f. two car guideline

Square Footage Breakdown:

	Main Floor	Upper Floor	Garage	Total
Existing	1,501	795	385	2,681
Proposed	63	627	-	690
Total	1,564	1,422	385	3,371

- Proposed 3,371 s.f. home; 2,986 s.f. living area and a 385 s.f. two-car garage

BACKGROUND

The Architectural Review Committee (ARC) reviewed the project at its February 15, 2007 meeting and forwarded the project to the Planning Commission with a favorable recommendation.

Commissioners Biasotti, Sammut and Peterson were present for this item.

ANALYSIS AND RECOMMENDATION

The applicant is proposing an addition of 690 square feet to the home. The project would increase the existing gross floor area by 28%. The total resulting gross floor area with the addition is 3,371 square feet and exceeds the floor area standard of .55, by 11 square feet, thereby requiring a conditional use permit. The existing two-car garage is slightly substandard as it is 20' wide by 18'-4" deep. The current code requirement for a two-car garage is 20' wide by 20' deep. The Architectural Review Committee discussed options to enlarge to garage to the full depth with the conclusion that it was not necessary for this project due to the size of the addition, the existing wide driveway and the availability of street parking in the immediate neighborhood. Any project with two covered off-street parking spaces that expansion would result in the gross floor area exceeding 2,800 square feet excluding garage area, requires a conditional use permit. The home would result in 2,986 square feet of floor area not including the garage and therefore requires a conditional use permit.

*Pursuant to the City's Zoning Code, the Commission shall grant the Use Permit and Minor Modification if it makes the following findings (required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made):*

1. **The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use.**

With the condition that the applicant obtain a building permit prior to construction, the addition will be constructed according to the Uniform Building Code (UBC) and therefore will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood. The second floor addition is 5'-0" at the front and tapers back to 7'-0" at the rear of the addition at the west side yard, exceeding the minimum building code setback requirements. There are two small windows along the west side elevation that will not impact privacy to the adjacent neighbor.

The proposed structure is similar in scale with the existing two-story homes located in the surrounding area and across from the property. Furthermore, this proposal is consistent with the types of home designs that staff found in the area during site inspection.

2. The proposed development will not be injurious or detrimental to property and improvement s in the neighborhood or to the general welfare of the city.

The applicant is proposing an upper level addition to an existing two story home. The expansion would utilize building materials comparable to homes found in the immediate area, namely stucco and composition shingle roofing. The home's overall height would increase to 26'-6" but would the meet maximum building height requirement of 28'-0". The proposal, with alterations to the existing home, complements the current neighborhood design, both in scale and with its architectural features. Additionally, it is consistent with the permitted uses of single-family residential district neighborhoods. The existing home contains four bedrooms. The addition will not result in an increase in the number of bedrooms. With the existing two-car garage and the wide tow-car driveway, on-street parking in the neighborhood area should not be impacted with the addition.

The proposal will benefit the City and the surrounding neighborhood through construction of a well designed addition and by its general conformance to a majority of regulations as set forth in the Zoning Ordinance. The applicant proposes to replace the existing wood siding with new exterior plaster and replace the old windows with new vinyl windows. The design of the second story addition matches the style of the existing home and utilizes bay windows, wood trim and roofline breaks to provide visual interest. Therefore, staff determines that the addition will not be detrimental to improvements in the neighborhood or to the general welfare of the City.

3. The proposed development will be consistent with the general plan.

The San Bruno General Plan designates the property as a low-density residential district. The proposed single family dwelling is thus consistent with the residential general plan designation.

Goal 3 of the City's 1984 General Plan states "encourage public and private development which is aesthetically sensitive to the surrounding environment and is of the highest quality design and construction." Staff finds that the design of the addition updates the architectural style of the home and the project will use exterior finish materials consistent with homes in the neighborhood.

General Plan Residential Policy 1 states "protect the residential character of existing residential neighborhoods." The proposed two story addition, with new windows, stucco finish, trim board and composition shingle roofing, will be complementary to other single family homes in the area.

4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.

The side yard setback at the west property line exceeds the minimum setback requirement of 5'-0" (the addition is set back 5'-6" at the front side, increasing to 7'-0" at the rear side of the addition). The existing two-story home is at a height of approximately 21'-0". The addition is proposed with a total height of 26'-6", below the 28'-0" maximum height limit. Homes in the immediate neighborhood are similar in height. Staff finds that this second story addition should not restrict or interfere with the light and air of adjacent properties. The roof design proposes a hipped slope for the second story and has no significant overhangs that would cause any undue or excessive shadowing of nearby properties.

The proposed structure is similar in scale with the existing two-story homes located in the surrounding area and across from the property. This proposal is also consistent with the types of home designs that staff found in the area during site inspection.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood.

The existing wood siding is proposed to be replaced with plaster (stucco) painted yellow ("flax"). New white vinyl frame windows are proposed for the existing home to match the addition. Decorative wood trim is proposed at the front elevation and the right side elevation to provide visual interest and break up the massiveness of the walls. A new asphalt shingle hipped roof is proposed at the front of the home, with two small gable end roofs at the front elevation.

The addition to the residence updates the architectural style of the home and would be an improvement not only to the subject property, but also to the neighborhood, which is comprised of contemporary, ranch and craftsman style single-family homes. The on-street parking in the area should not be negatively impacted, which would otherwise diminish the desirability of the adjacent properties and overall neighborhood since staff is recommending that the existing garage be expanded to provide a compliant two car garage.

6. The proposed expansion complies with applicable off-street parking standards of the zoning ordinance.

The project proposes that a two-car garage for the expanded home remain, attached at the front of the property. The total living area is proposed at 2,986 square feet which exceeds the 2,800 square foot guideline for a two-car garage by 186 square feet. Based on the size of the addition, the width of the existing driveway and the availability of on street parking in the neighborhood, Staff and the Architectural Review committee find that parking will not be negatively impacted by the proposal.

NEIGHBORHOOD CONCERNS

Staff mailed a courtesy notice to property owners adjacent to the subject site prior to the Architectural Review Committee meeting and public notices prior to the Planning Commission meeting. No comments were received as of the date of this report.

Recommendations

Based on the above analysis and Findings of Fact 1-6 below, Staff recommends approval of Use Permit 06-42 subject to conditions 1-11 below.

FINDINGS OF FACT

1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use since all construction will meet the Uniform Building Code and attain all appropriate Building Division permits.
2. The proposed development will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city given the expansion is in scale with the neighborhood and off-street parking requirements will be met, thereby eliminating any negative impacts to on-street parking availability.
3. The proposed development will be consistent with the general plan, since the proposed single family home meets the general plan designation of low density residential for the subject property.
4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.
5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood.
6. The proposed expansion complies with applicable off-street parking standards of the zoning ordinance.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7074

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 06-042 shall not be valid for any purpose. Use Permit 06-042 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the conditions of approval shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on March 20, 2007, labeled Exhibit B except as required to be modified by

these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.

4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.

Fire Department – (650) 616-7096

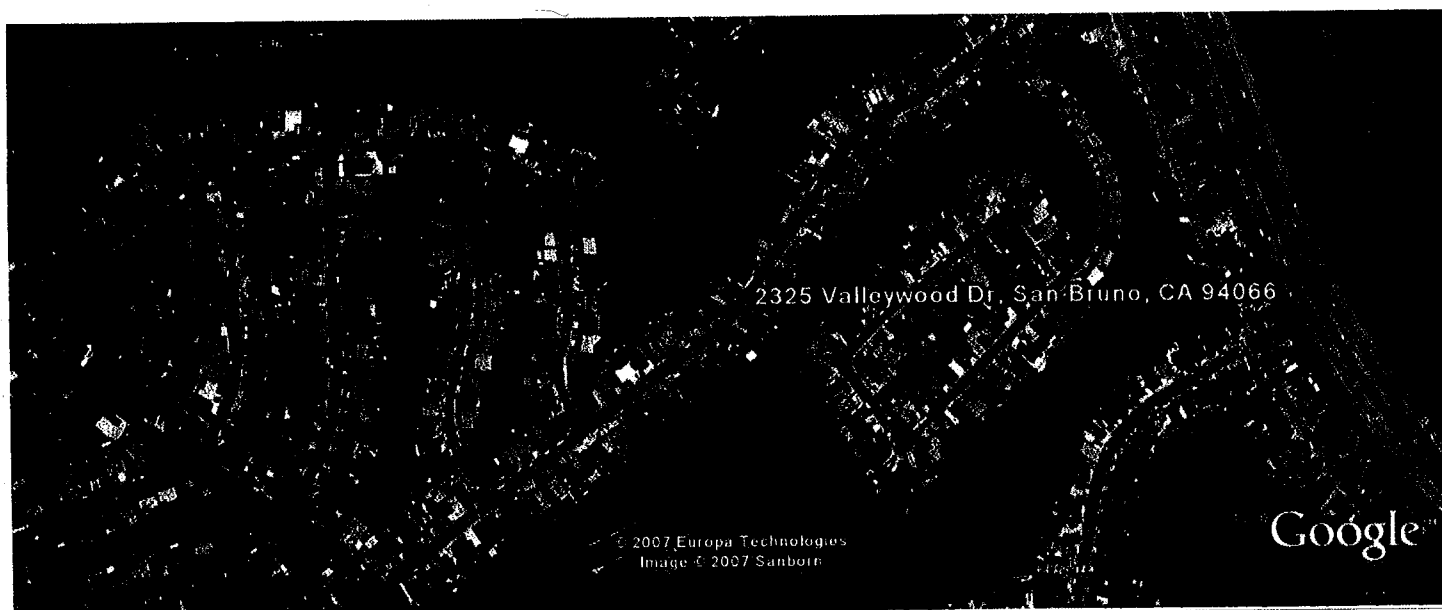
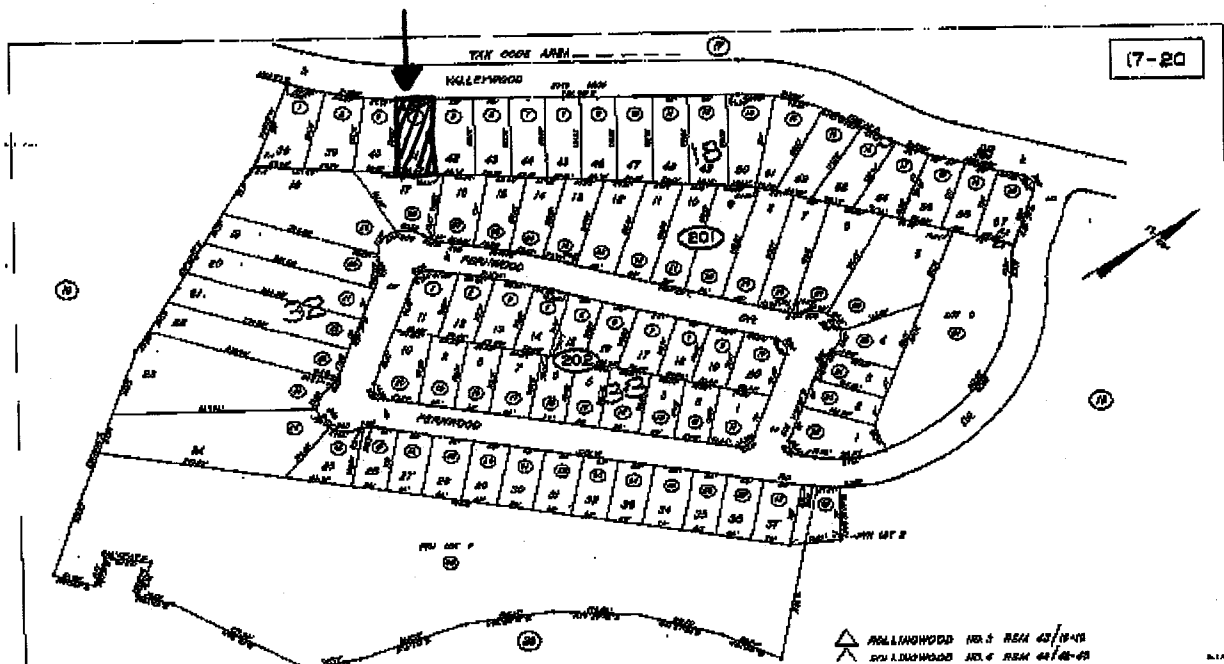
7. Provide minimum 4" illuminated address numbers.
8. Provide hardwired smoke detectors with battery back up to all bedrooms and hallways/corridors.
9. Provide spark arrestor for chimney.

Department of Public Works – (650) 616-7065

10. At time building permit is issued, a tree planting fee will be required to be paid. The current fee amount is \$540.00. The fee in effect at the time the permit is issued shall be paid.
11. All damaged sidewalk at Valleywood Drive along the frontage of the property shall be removed and replaced. Damaged sidewalk is any location where there is any vertical offset of ½" or more. New sidewalk shall be constructed according to City standard detail. A separate encroachment permit will be required for any work in the City right-of-way.

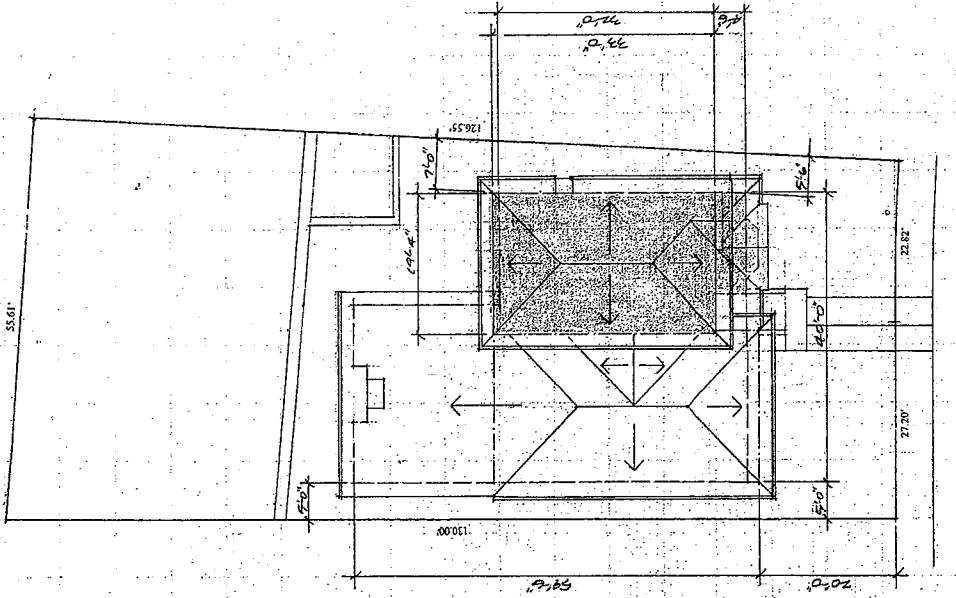
Submitted on March 9, 2007 by:
Lisa Costa Sanders, Acting Planning Manager

**2325 Valleywood Drive
017-201-040**



 2325 Valleywood Dr, San Bruno, CA 94066

Exhibit A – Site Location

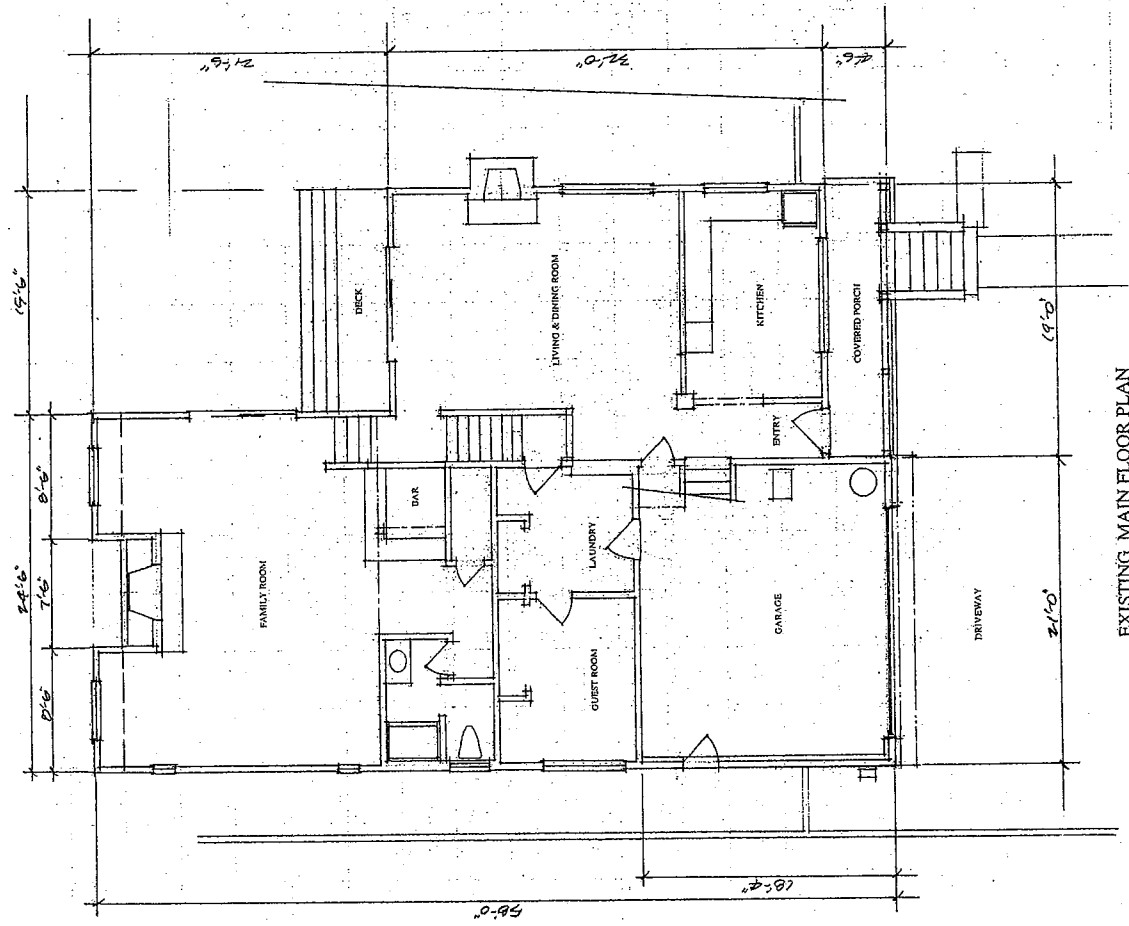


VALLEYWOOD DRIVE

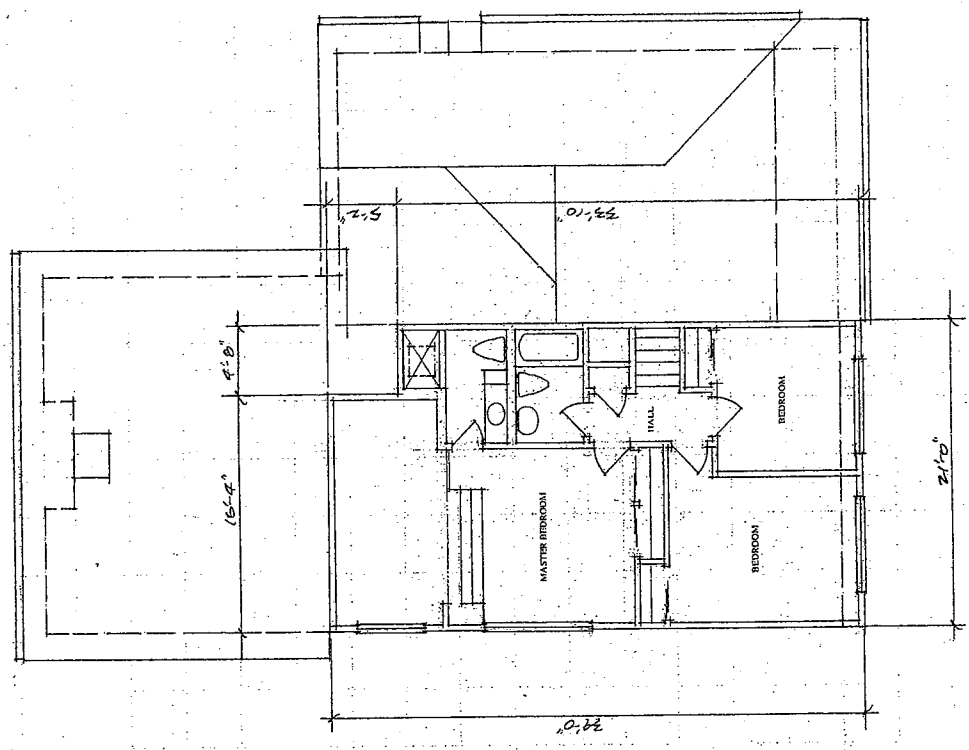
↓ SITE & ROOF PLAN 9'8" x 10'

2325 Valleywood Drive, San Bruno

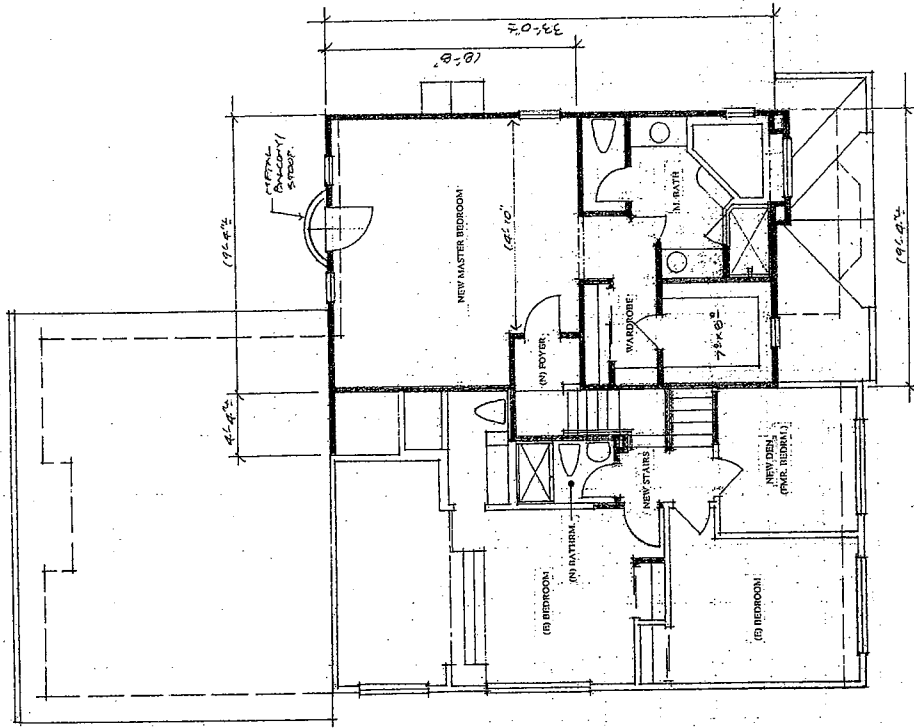
Occupancy Group(s):	R-3 / U-1
Construction Type(s):	V-N
Compliance:	2001 California Building Code (Vol. 1 & 2) 2001 California Fire Code (Vol. 1 & 2) 2001 California Electrical Code (Vol. 1 & 2) 2001 California Plumbing Code (Vol. 1 & 2) 2001 California Fire Code (with Local Amendments)
Applicant's Parcel No.:	017 - 201 - 040
Land Use:	R-1 single-family residential
Lot Area:	6,714 s.f.
Existing Building Area:	6,714 s.f.
Proposed Building Area:	3,024 s.f. (49%)
Permitted Floor Area (FAR):	3,024 s.f. (49%)
Maximum Lot Coverage:	2,419 s.f. (36%)
Existing Lot Coverage:	2,004 s.f. (30%)
Existing Building Area:	1,301 s.f.
Proposed Building Area:	339 s.f.
Main Floor (Living area):	339 s.f.
Upper Floor (Living area):	2,681 s.f. (43%)
Proposed Addition:	63 s.f.
Main Floor (Living area):	63 s.f.
Upper Floor (Living area):	699 s.f.
Total Added Floor Area:	16 s.f.
Net Added Lot Coverage:	2,896 s.f.
Proposed Total Living Area:	3,371 s.f. (50%)
Proposed Gross Floor Area:	2,039 s.f. (30%)
Proposed Lot Coverage:	25.7%
Floor Area Ratio Increase (%):	25.7%



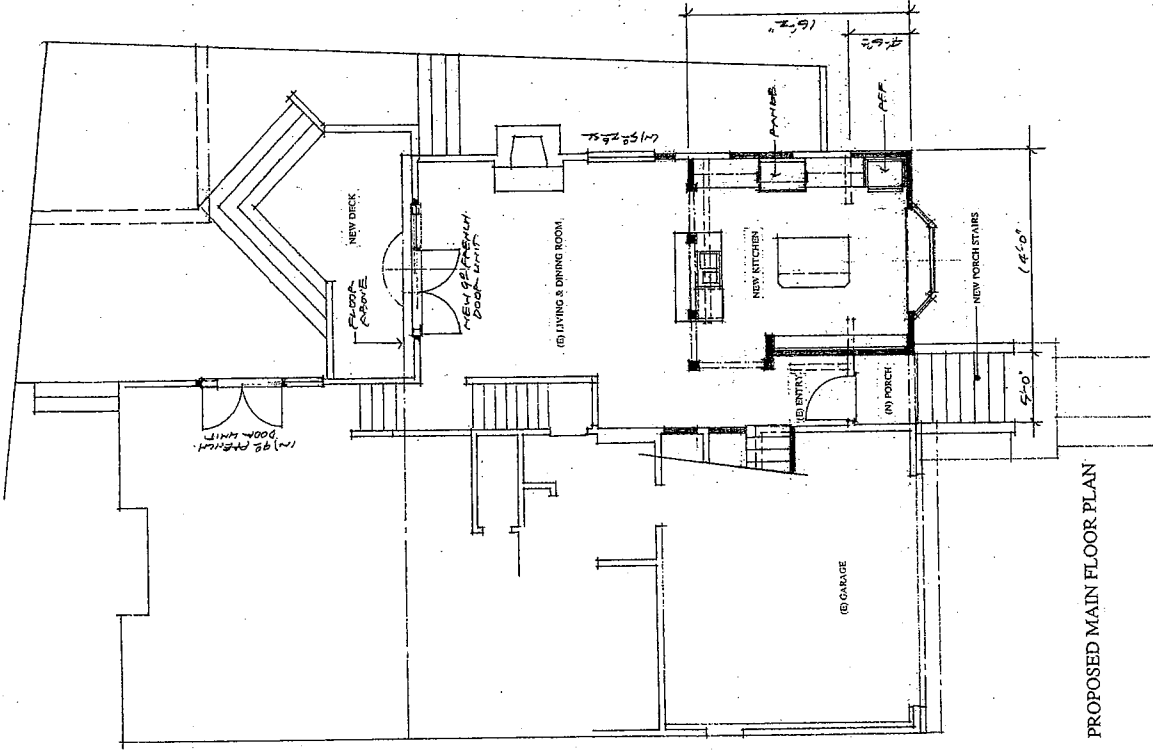
EXISTING MAIN FLOOR PLAN



EXISTING UPPER FLOOR PLAN



PROPOSED UPPER FLOOR PLAN



PROPOSED MAIN FLOOR PLAN

FLOOR PLAN LEGEND

=====	EXISTING TO REMAIN
-----	EXISTING TO BE REMOVED OR RELOCATED
-----	NEW 2nd FLOOR WALL UNLESS OTHERWISE NOTED
(J)	INDICATES NEW
(E)	INDICATES EXISTING

Ibarra Associates
ARCHITECTURE & PLANNING
100 LUCIA COURT
650-589-4613
650-580-873 FAX
SAN BRUNO CA 94066

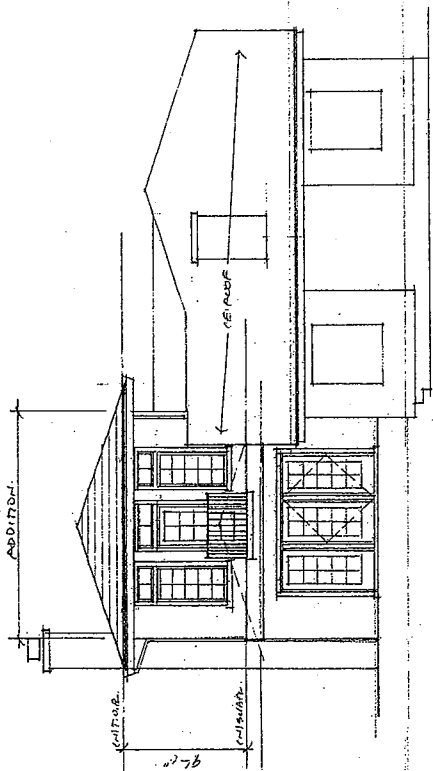
RESIDENTIAL REMODEL & ADDITION
2325 VALLEYWOOD DRIVE
SAN BRUNO, CALIFORNIA
OWNER: R. & N. WALLACE

6x25402
EL6V170V9.

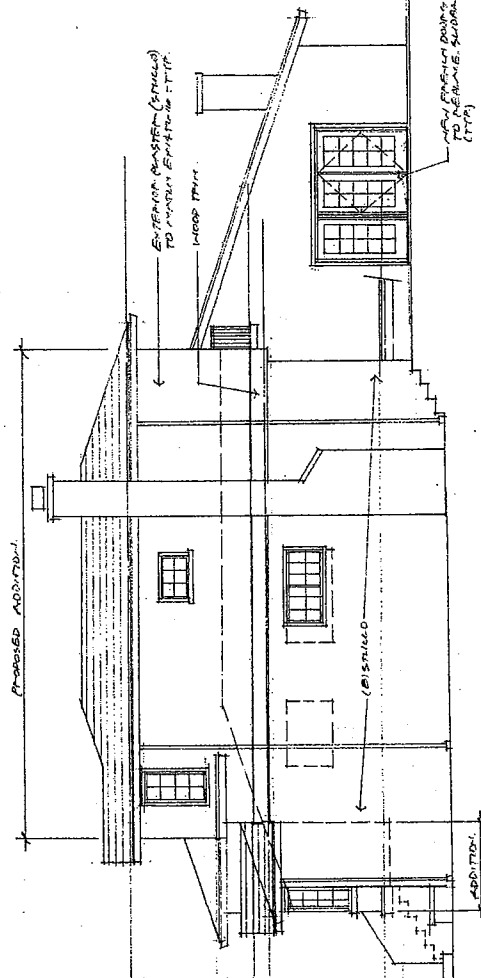
DATE 1.29.07
SCALE 1/4"
DRAWN K
JOB 2612

A.4

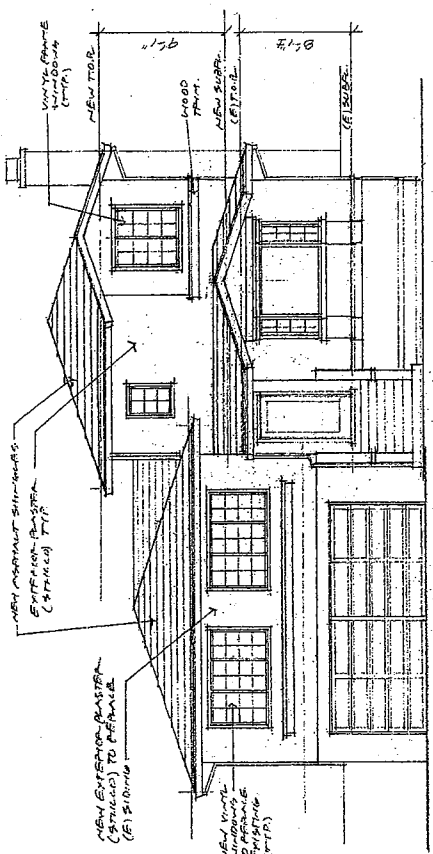
24/52



REAR ELEVATION - SOUTH



RIGHT SIDE ELEVATION - WEST



FRONT ELEVATION - NORTH



Exhibit C – Photo



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
<http://www.ci.sanbruno.ca.us>

STAFF

Aaron Akin, AICP, *Interim Comm. Development Director*
Mark Sullivan, AICP, *Housing and Redevelopment Manager*
Lisa Costa Sanders, *Acting Planning Manager*
Tony Rozzi, *Assistant Planner*
Laura Russell, *Assistant Planner*
Pamela Thompson, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
Bob Marshall, Jr., *Vice-Chair*
Kevin Chase
Mary Lou Johnson
Perry Petersen
Joe Sammut
Sujendra Mishra

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. E3
March 20, 2007**

PROJECT LOCATION

1. Address: 617 4th Avenue
2. Assessor's Parcel No: 020-201-030
3. Zoning District: R-1 (Single-Family Residential District)
4. General Plan Classification: Low Density Residential

EXHIBITS

- A: Site Location
B: Site Plan, Floor Plans, and Elevations
C: Survey of Record, Dated January 2007

REQUEST

Request for a Use Permit to allow the construction of an addition which increases the gross floor area by 85% and exceeds the .55 floor area ratio guideline per Sections 12.200.030.B.1 and 12.200.030.B.2 of the San Bruno Zoning Ordinance. Jose Casco (Owner/Applicant) **UP-05-014**

RECOMMENDATION

Staff recommends that the Planning Commission **approve** Use Permit 05-014 based on the Findings of Fact (1-6), subject to Conditions of Approval (1-17).

REVIEWING AGENCIES

Community Development Department
Public Works Department
Fire Department

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on March 9, 2007.
2. Advertisement published in the *San Mateo Daily Journal*, Saturday, March 10, 2007.

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15303(A): New Construction of a Single Family Residence/Conversion of a Structure.



EXISTING CONDITIONS

The subject property is located on the south end of Fourth Avenue, between E. Angus Avenue and Pine Street. This is a rectangular-shaped lot with a sub-standard total size of 2,500 square feet. The lot is 25'-0" wide and 100'-0" deep. The property is currently developed with a ranch style, two bedroom and one bathroom, 920 square foot two-story residence with an attached one-car garage. The lower area is currently garage and storage and all living area is located on the upper floor. The existing home is built up to both side property lines, with a south side yard setback of 0'-0" and a north side yard setback of approximately 1'-

0". Neither of the existing side setbacks meet current zoning ordinance requirements. This home was built in 1915 and is located in the Belle Air Park subdivision, which is made up of early to mid 20th century single-family residences. Adjacent to the subject property are other single-family structures.

SURROUNDING LAND USES

North: Pine Street - R-1 Zone, single-family residential
South: E. Angus Avenue - R-1 Zone, single-family residential
East: Fifth Avenue - R-1 Zone, single-family residential
West: Third Avenue - R-1 Zone, single-family residential

BACKGROUND

This project is in response to a current code enforcement case resolving an illegal addition to the rear of the home. This addition was done by a previous owner and the new owner inherited the ongoing code enforcement case. As part of this project, the new owner proposed that the illegally built rear addition would be reduced on the sides to meet the zoning ordinance side yard setback requirement of 3'-0" and a new two car garage would be built to meet zoning ordinance guidelines.

PROJECT INFORMATION

The proposed project is for a rear addition to the home, which currently stands as a two story, single family structure. The project would remodel existing storage area on the first floor to add an office, stairway and half bath and then add 310 s.f. to create a new family room. On the second floor, the project would add 348 s.f. for a new master suite and second story deck. The second floor would cantilever 2'-0" beyond the lower floor. The existing second floor would also remodel the rear portion of the hallway to provide downstairs access and reduce the size of the kitchen slightly to provide a bedroom closet.

As part of this proposal, an existing, attached one car garage and basement would be remodeled to create a two-car, side by side garage to meet the parking requirements per the San Bruno Zoning Ordinance.

If approved and constructed, this would be a 3 bedroom and 2.5 bathroom home. Project details are shown in the following table:

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	Same
Lot Area		2,500 s.f.	3,000 s.f. adj*	Same
Lot Coverage		1,320 s.f. (44%)	960 s.f. (32%)	1,270 s.f. (42%)
Gross Floor Area		1,650 s.f.	1,120 s.f.	2,407 s.f.*
Floor Area Ratio		.55	.37	.80
Building Setbacks	Front	15'-0"	20'-0"	Same
	Rear	10'-0"	39'-6"	23'-8"
	N Side S Side	5'-0"	1'-0" 0'-0"	Same*
Building Height		28'-0"	22'-0"	23'-6"
Covered Parking		2 spaces	1 space	2 spaces

(*) Notes:

- Adjustment factor of 1.2 used = 3,000 s.f. adj.
- New addition will meet minimum side yard setback of 3'-0" on both sides
- Living Area 1,866 s.f., 541 s.f. garage and storage
- Non-Habitable space counts for 22% of gross floor area

Square Footage Breakdown:

	Ground floor	Second Floor	Garage	Total
Existing		920	200	1,120
Proposed	598	348	341	1,287
Total	598	1,268	541	2,407

- Proposed 2,407 s.f. home; 1,866 s.f. Living area and a 541 s.f. two car garage and storage.
- New square footage and conversion will total 946 s.f.

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee (ARC) reviewed the project at its December 14, 2006 meeting and forwarded the project to the Planning Commission with a favorable recommendation and the following comments:

- A survey of record to be submitted to staff verifying side property lines prior to scheduling a PC hearing date.
- Indicate use of area next to staircase on first level.
- Convert lower level bathroom to a half bath only due to previous Code Enforcement case.

- Two car width driveway to be installed to adequately access new garage
- New windows marked as (N) on plans and to be match existing windows
- Consider revising entryway to be stucco instead of siding
- Add architectural feature above garage to break up mass of front façade
- Both garage doors to be replaced – Mark on plans as (N)
- Consider adding roof over proposed rear deck for articulation
- Provide Window and Door schedule to staff prior to PC meeting.
- Show chimney on plans, if present.
- Bring color and material samples to Planning Division staff prior to PC meeting.
- Show gutters and downspouts on elevation plans.

Commissioners Sammut, Biasotti and Mishra were present for this item.

Since the Architectural Review Committee hearing, the applicant has made the suggested revisions. A survey is attached to the plans, the proposed full bathroom is reduced to a half bath in the lower level conversion, an adequately accessed two-car garage is proposed with new garage overhead doors and significant architectural interest is added to the front of the home. Specifically, a new matching window has been added to the entryway with surrounding stucco finish and a first level stone façade has been designed for the entire front elevation.

PROJECT ANALYSIS

The applicant is proposing an addition of 658 square feet to the rear of the home and a new 541 s.f. two-car attached garage to the existing home. The project would increase the existing gross floor area by 85% with the addition and conversion of storage on the lower level and have a .80 total floor area ratio. Any project which proposes a greater than 50% expansion in gross floor area or exceeds the .55 floor area ratio guideline requires a use permit.

*Pursuant to the City's Zoning Code, the Commission shall grant the Use Permit if it makes the following findings (required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made):*

- 1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use.**

With the condition that the applicant obtain a building permit prior to construction, the addition will be constructed according to the Uniform Building Code (UBC) and therefore will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood. The rear first and second floor addition would be set back 3'-0" from both the north and south side yard property lines and 23'-8" to the rear property line, complying with the setback requirements to provide for fire safety construction and egress requirements. In this respect, the development will not be detrimental to the health and safety of the persons residing in the neighborhood. Additionally, this application has resolved a pre-existing code enforcement case and therefore will make the home more compatible with the surrounding neighborhood.

2. The proposed development will not be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city.

The applicant is proposing a two-story addition to a single story home in the Redevelopment project area. The expansion would utilize building materials comparable to those structures found in the immediate area, namely stucco finish, composite wood paneling and composition shingle roofing. A new lower level stone façade has also been proposed for the front elevation. The home's overall height would increase slightly to 23'-6", however an existing hipped dormer on the front elevation would be removed and the new roof would meet building heights as designated by the zoning ordinance requirement of less than 28'-0". While this proposal is in response to an illegally built rear addition and current code enforcement case, the proposal complements the current neighborhood design, both in scale and with its architectural features. Additionally, it is consistent with the permitted uses of single family residential district neighborhoods. The addition and new two-car garage will dramatically improve the property since the existing home is in disrepair and will be fully remodeled on the exterior. On-street parking in the neighborhood area will improve since an existing one-car garage will be replaced with a new two car garage and two car driveway. This is especially important as the immediate neighborhood has very little on-street parking.

3. The proposed development will be consistent with the general plan.

The San Bruno General Plan designates the property as a low-density residential district. The proposed single family dwelling is thus consistent with the residential general plan designation.

Goal 3 of the City's 1984 General Plan states "encourage public and private development which is aesthetically sensitive to the surrounding environment and is of the highest quality design and construction." Staff finds that the architecture of the addition will balance the style of the existing homes in the nearby area and the project will use similar finish materials.

General Plan Residential Policy 1 states "protect the residential character of existing residential neighborhoods." The two-story ranch style home, with new windows, stucco finish, stone veneer and composite wood finish, a rear facing deck and composition shingle roofing, will be complementary to other single family homes in the area.

4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.

The illegally built addition, in its current form, has negatively impacted adjacent properties since it extended existing zero side yard setbacks on both sides of the home. With the proposed alterations to this addition, including a 3'-0" side yard setback from the north and south property lines, the structure should not unreasonably restrict or interfere with light and air on the adjacent properties. Concerning height, the home would be below the 28'-0" maximum, proposing a 23'-6" height. Surrounding the subject property are other early to mid 20th century homes that are similar in height. Staff finds that this rear addition should not restrict or interfere with the light and air of adjacent properties given it will meet

current setback requirements for the home. The roof design proposed a revised hipped 5/12 slope and has no significant overhangs that would cause any undue or excessive shadowing of nearby properties.

The proposed structure is similar in scale with the existing single and two-story homes located in the surrounding area and across from the property. This proposal is consistent with the types of home designs that staff found in the area during site inspection and therefore, should not discourage or impair further development or investment in the neighborhood.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood.

The affected front and rear elevations of this project will replace all existing windows and utilize similar finished materials. Trim for the new windows and two new matching overhead garage doors are also proposed.

The applicant has suggested finishing the structure with stucco on the front elevation, where the new two-car garage will be constructed and add a stone veneer finish to the lower level. Composition wood siding will be used on the entire rear addition. This material tends to last much longer than wood siding and is encouraged by staff for its durability. A new asphalt shingle roof will be installed as well.

The expanded residence would be an improvement not only to the subject property, but also to the modest neighborhood, which is comprised of contemporary, ranch and craftsman style single family homes. The on-street parking in the area should not be negatively impacted, which would otherwise diminish the desirability of the adjacent properties and overall neighborhood since the applicant has met the parking requirements, as listed in Finding 6.

6. The proposed expansion complies with applicable off-street parking standards of the zoning ordinance.

The project proposes a two car garage for the expanded home, accessed at the front of the property. This will be a significant improvement to the neighborhood, which is dominated with substandard one-car garages and suffers from on-street parking congestion. The driveway length will be 20'-0" in length and will provide parking space for two additional vehicles off the street, another benefit to the neighborhood. As such, all off-street parking standards will be met with this proposal.

PUBLIC COMMENTS

None were submitted prior to the Public Hearing.

RECOMMENDATION

Based on the above analysis and Findings of Fact 1-6 below, Staff recommends approval of Use Permit 05-014 subject to conditions 1-17 below.

FINDINGS OF FACT

1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use since all construction will meet the Uniform Building Code and attain all appropriate Building Division permits.
2. The proposed development will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city given the expansion is in scale with the neighborhood and off-street parking requirements will be met, thereby eliminating any negative impacts to on-street parking availability.
3. The proposed development will be consistent with the general plan, since the proposed single family home meets the general plan designation of low density residential for the subject property.
4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.
5. That the general appearance of the proposed architectural design will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood since this addition has been well designed with appropriate finished materials.
6. The proposed expansion complies with applicable off-street parking standards of the City of San Bruno Zoning Ordinance.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7074

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 05-014 shall not be valid for any purpose. Use Permit 05-014 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the conditions of approval shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on March 20, 2007, labeled Exhibit B except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.

4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the Uniform Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.

Department of Public Works – (650) 616-7065

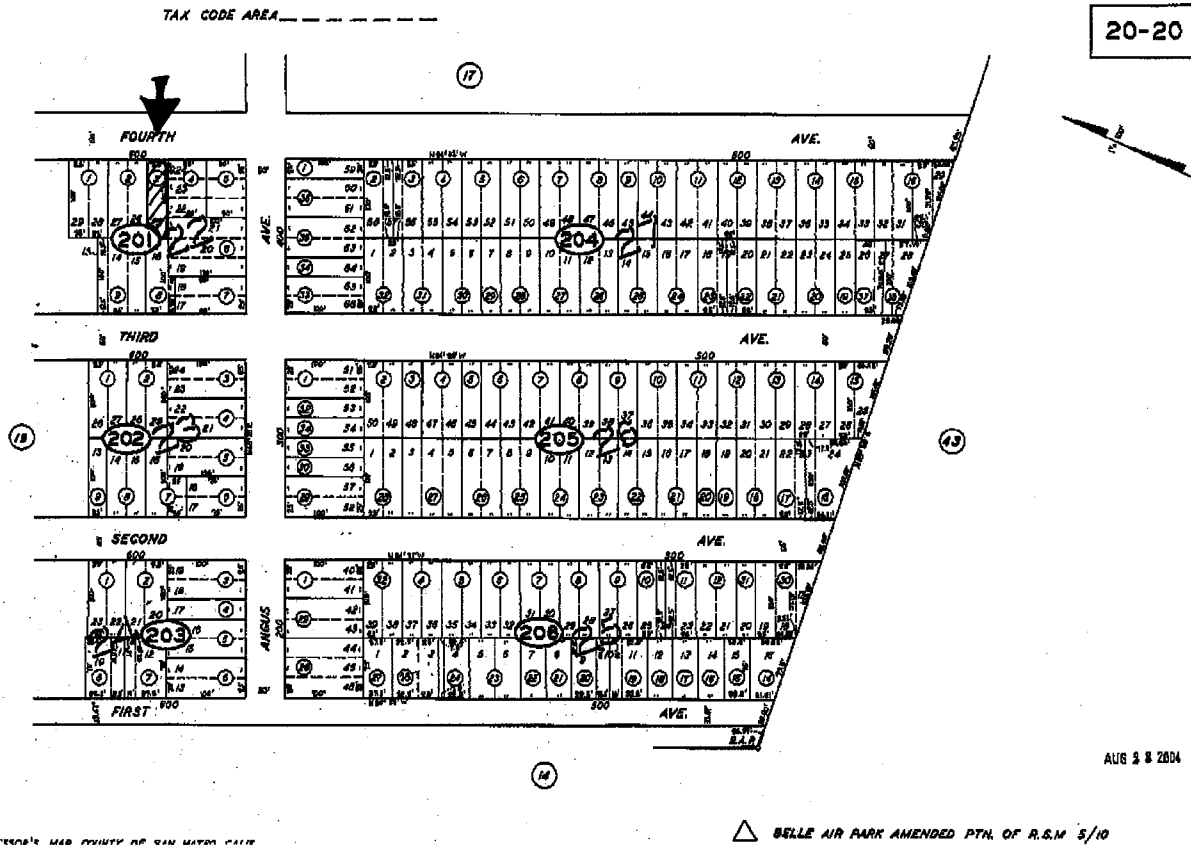
9. Encroachment Permit from Engineering Department required prior to work. S.B.M.C. 8.16.010
10. Install a sanitary sewer lateral clean-out at property line per City standards detail SS-01.
11. Remove and replace all sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than 1/2-inch. S.B.M.C. 8.12.010.
12. Storm water from new and existing roof down-spouts shall be collected and drained to an underground storm water system or through an undersidewalk curb drain to the gutter per City standards detail SI-03. Chapter 11, UPC 1101.1.
13. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule. S.B.M.C. 8.24.060

Fire Department – (650) 616-7096

14. Address numbers must be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
15. Provide spark arrestor for chimney, if present.
16. Provide hardwired smoke detectors with battery backup to all new bedrooms and hallways.

17. The project must comply with all future Fire Department conditions, as required during the plan check review by the Building and Safety Department.

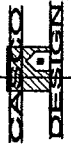
Submitted on 02/09/07 by:
Tony Rozzi
Assistant Planner



617 4th Avenue
 020-201-030
 UP 05-014

Exhibit A – Site Location





DESIGN: JOSE CASCO
PHONE: 415-312-6833
FAX: 650-51 5059
DRAWN: CYNTHIA FAJARDO

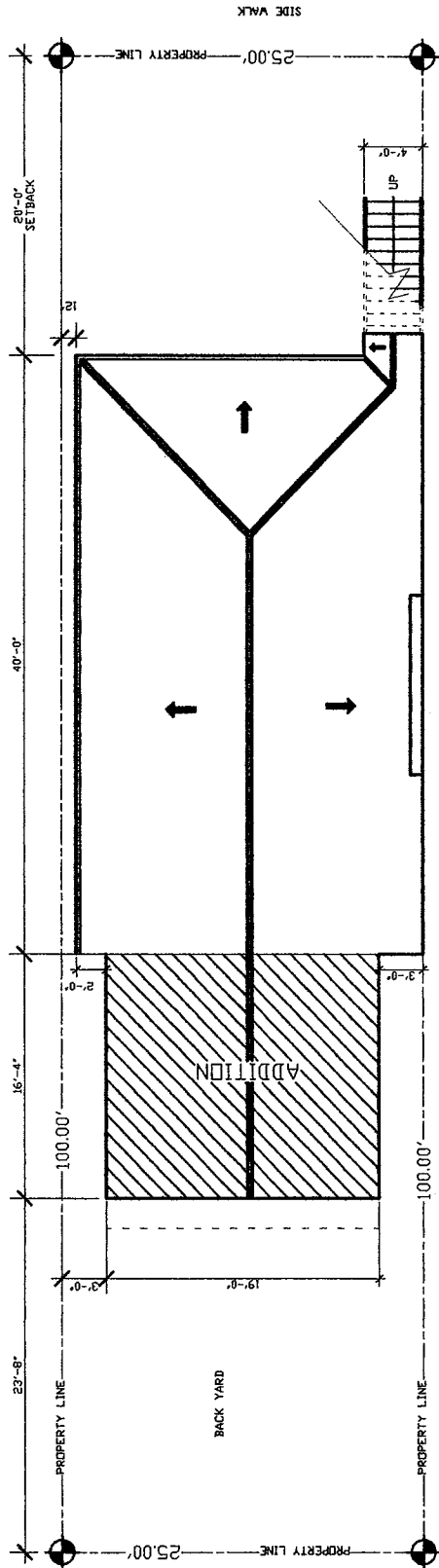
617 4th AVE.
SAN BRUNO ADDITION
OWNER: JOSE CASCO

DATE: 02-08-07

SHEET

A-1

RECEIVED
FEB 13 2007
CITY OF SAN BRUNO
COMMUNITY DEVELOPMENT DEPARTMENT



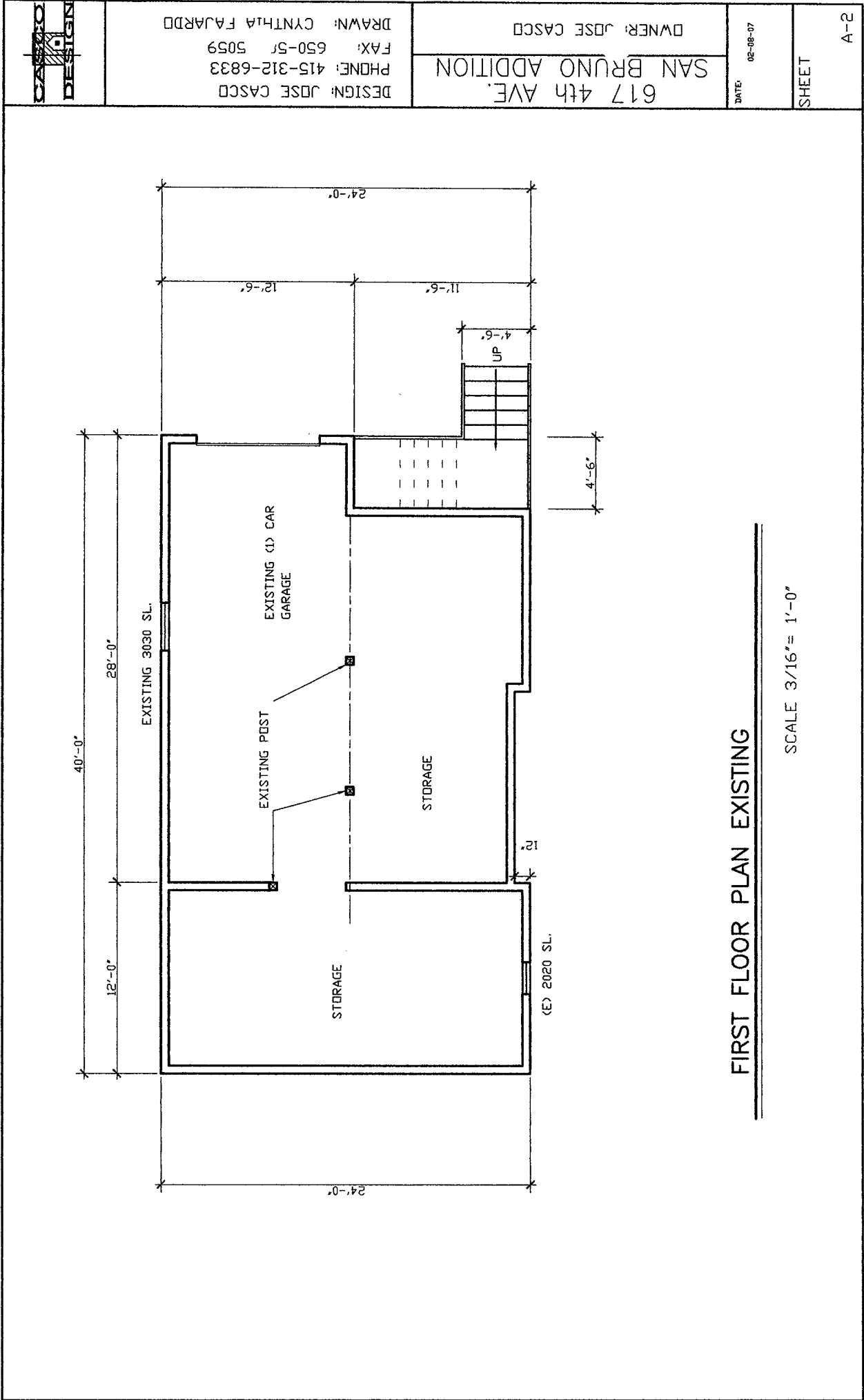
PLOT PLAN

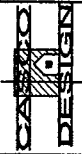
SCALE 1/8" = 1'-0"

PROJECT INFORMATION

EXISTING SQ. FT. (LIVING AREA)	875 SQ. FT.	OWNER: JOSE CASCO	DESIGN BY: JOSE CASCO
EXISTING SQ. FT. (GARAGE)	180 SQ. FT.	ADDRESS: 617 4th AVE.	PHONE: (415) 312-6833
GARAGE/STORAGE (PROPOSED)	476 SQ. FT.	SAN BRUNO CA, 94066	FAX: (650) 589-5059
PROPOSED FIRST FLOOR ADDITION	310 SQ. FT.	PHONE: (650) 921-7145	
PROPOSED SECOND FLOOR ADDITION	348 SQ. FT.		
TOTAL PROPOSED (living only)	658 SQ. FT.		
TOTAL NEW AND EXISTING (living only)	1,533 SQ. FT.		
TOTAL SQUARE FEET (LIVING-GARAGE)	2,189 SQ. FT.		

Exhibit B - Site, Floor & Elevation Plans





DESIGN: JOSE CASCO
PHONE: 415-312-6833
FAX: 650-550-5059
DRAWN: CYNTHIA FAJARDO

617 4th AVE.
SAN BRUNO ADDITION

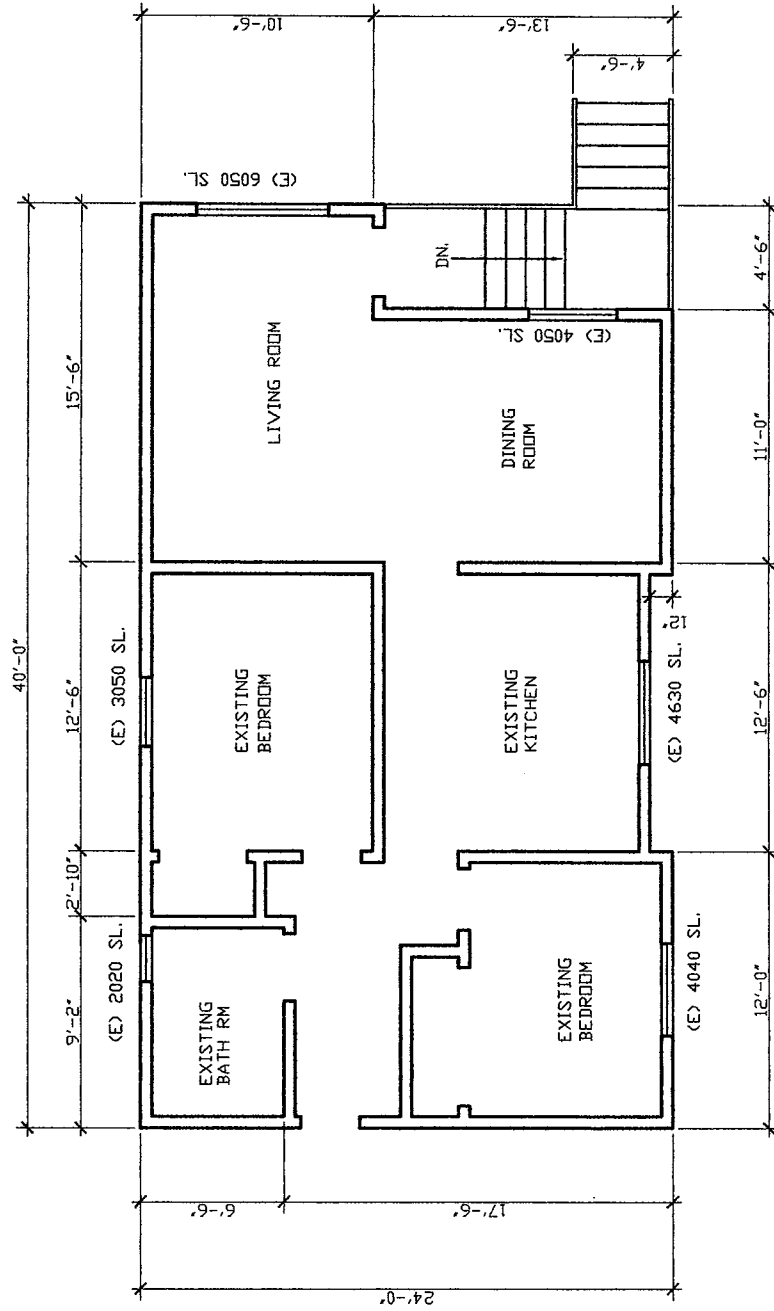
OWNER: JOSE CASCO

DATE:

02-08-07

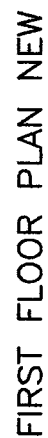
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A-3

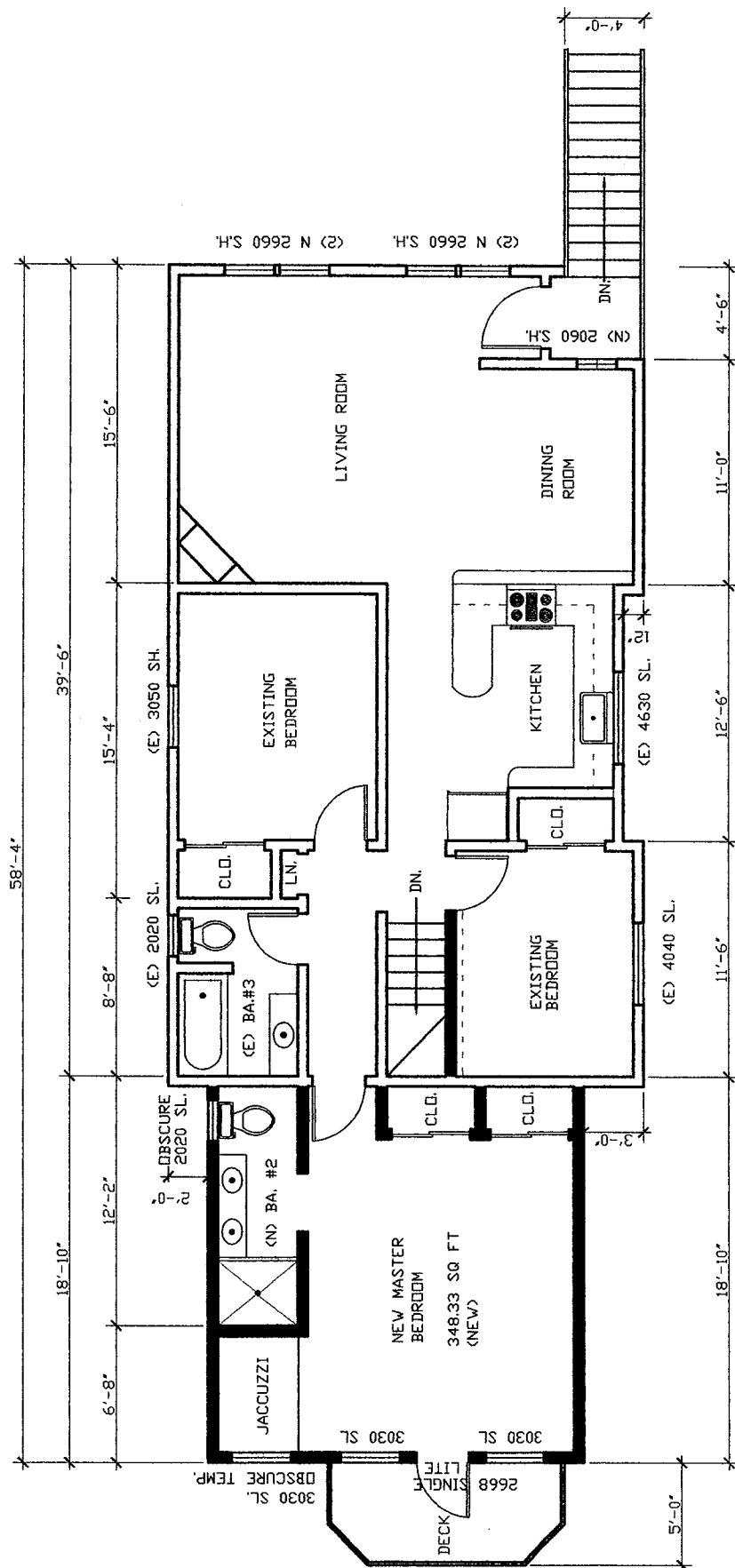


SECOND FLOOR PLAN EXISTING

SCALE 3/16" = 1'-0"



SCALE 3/16"= 1'-0"



SECOND FLOOR PLAN NEW

SCALE 3/16" = 1'-0"

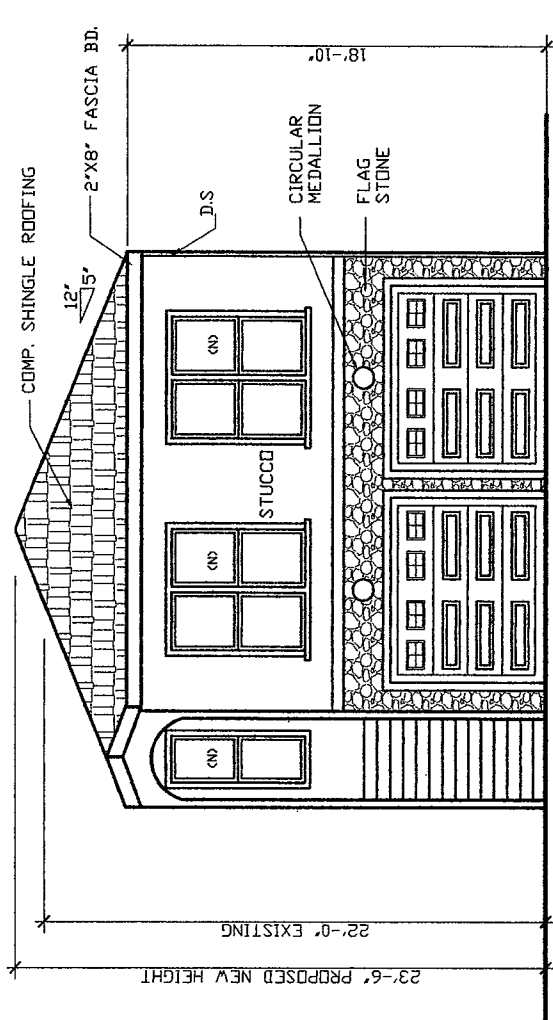


DESIGN: JOSE CASCO
PHONE: 415-312-6833
FAX: 650-55 5059
DRAWN: CYNTHIA FAJARDO

617 4th AVE.
SAN BRUNO ADDITION

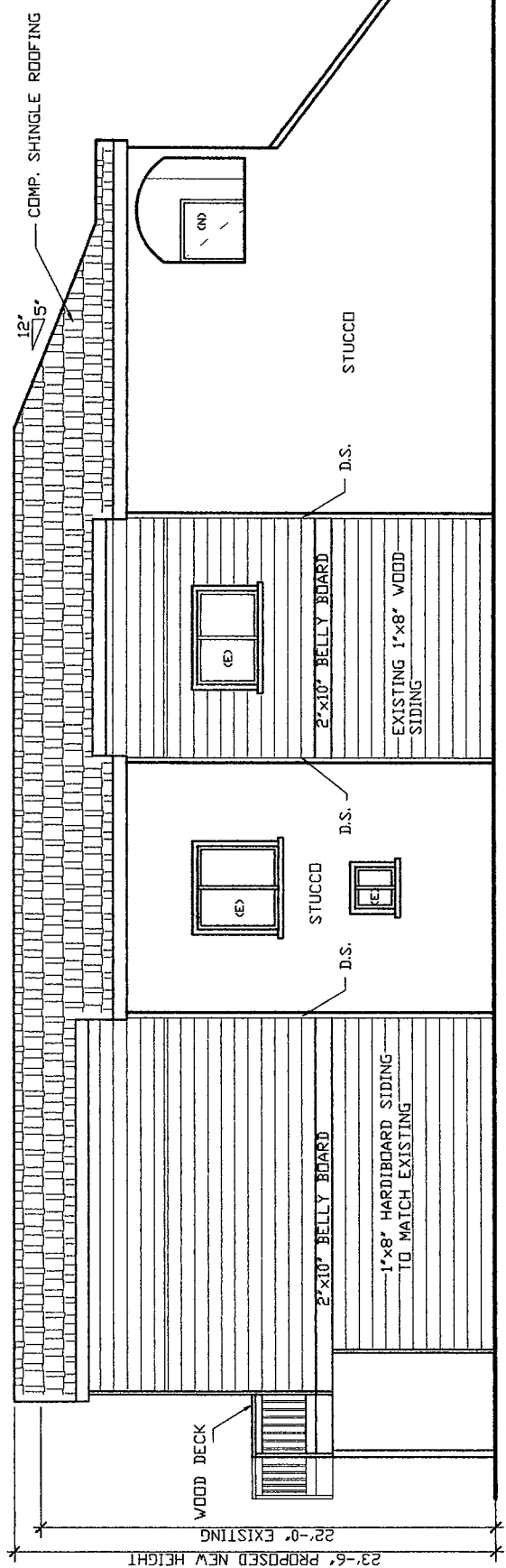
DATE: 02-08-07

SHEET
A-6



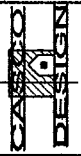
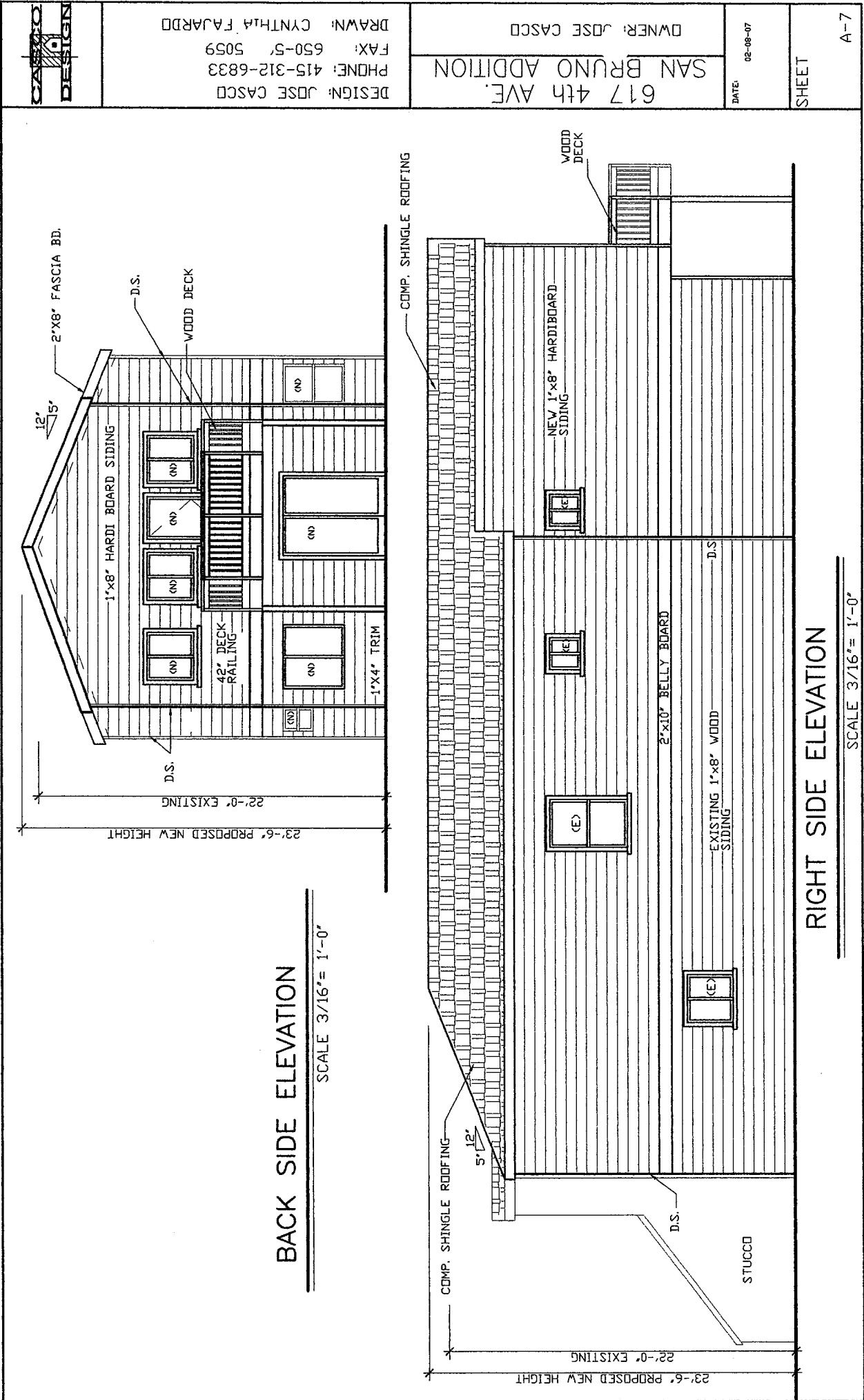
FRONT ELEVATION

SCALE 3/16" = 1'-0"



LEFT SIDE ELEVATION

SCALE 3/16" = 1'-0"



DESIGN: JOSE CASCO
PHONE: 415-312-6833
FAX: 650-51 5059
DRAWN: CYNTHIA FAJARDO

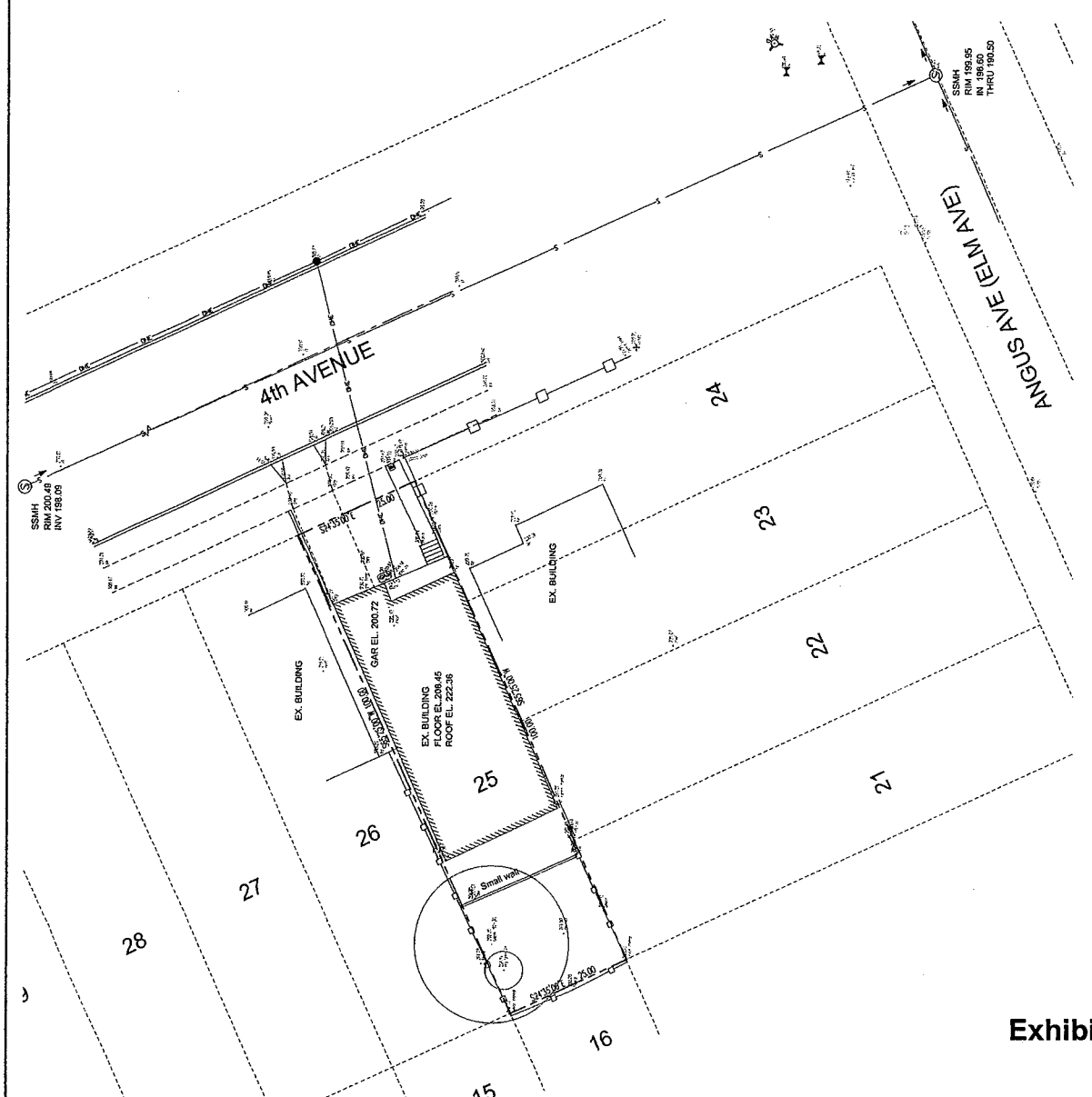
617 4th AVE.
SAN BRUNO ADDITION

OWNER: JOSE CASCO

DATE: 02-08-07

SHEET

A-7



SCALE 1" = 10'

OWNER
JOSE CASCO
617 4th AVENUE
SAN BRUNO CA 94068

NOTES

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCT.
2. ALL ELEVATIONS AND CONTOURS ARE BASED ON ASSUMED DATUM.
3. BASIS OF BEARINGS: NO CITY MONUMENT FOUND. THE SURVEY WAS BASED UPON AMENDED MAP NAMED "BELLE AIR PARK" SAN BRUNO STATION FILED ON JUNE 24, 1907, IN BOOK 5, AT PAGE 10, SAN MATEO COUNTY RECORDS.
4. THIS SURVEY WAS BASED UPON A TITLE REPORT BY FINANCIAL TITLE COMPANY OR No. 4116235-265-SBK, DATED JANUARY 5, 2004.
5. EXACT SPECIES OF TREES ARE NOT OUR EXPERTISE AND IF THAT INFORMATION IS NEEDED AN ARBORIST WOULD HAVE TO BE CONSULTED.

LEGEND

- FOUND CITY MONUMENT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- FIRE CONTROL VALVE
- LIGHT POLE
- GAS METER
- GAS VALVE
- EXISTING CROSS ON CONCRETE CURB
- EX. SANITARY SEWER MAN
- EX. STORM DRAIN MANHOLE
- EX. SANITARY SEWER CLEAN OUT
- C.O.
- PTO- POWER, TEL. AND CABLE POLE

TOPOGRAPHIC SURVEY
FOR 617 4th AVENUE, SAN BRUNO, CA

Thinggaard Land Consulting
3524 Breakwater Avenue
Hayward, California 94545
(510) 732-6608



Raymond B. Thinggaard
Raymond B. Thinggaard PLS-3820
Date Jan 9, 2007

Exhibit C

CITY OF SAN BRUNO

COMMUNITY DEVELOPMENT DEPARTMENT



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
<http://www.ci.sanbruno.ca.us>

STAFF

Aaron Akin, AICP, *Interim Comm. Development Director*
Mark Sullivan, AICP, *Housing and Redevelopment Manager*
Lisa Costa Sanders, *Acting Planning Manager*
Tony Rozzi, *Assistant Planner*
Laura Russell, *Assistant Planner*
Pamela Thompson, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
Bob Marshall, Jr., *Vice-Chair*
Kevin Chase
Mary Lou Johnson
Perry Petersen
Joe Sammut
Sujendra Mishra

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. E4
March 20, 2007**

PROJECT LOCATION

1. Address: 701 Shelter Creek Lane
2. Assessor's Parcel No: 019-290-Parcel A
3. Zoning District: P-D (Planned Development District)
4. General Plan Classification: Planned Development

EXHIBITS

- A: Site Location
B: Site Plan
C: Applicant's Support Statement

REQUEST

Request for a Use Permit to allow special events on a permanent basis per Sections 12.84.070.B and 12.112 of the San Bruno Zoning Ordinance. Gundula Sartor (Applicant); Shelter Creek Homeowners Association (Owner) **UP-07-005**

RECOMMENDATION

Staff recommends that the Planning Commission **approve** Use Permit 07-005 based on the Findings of Fact (1-3), subject to Conditions of Approval (1-12).

REVIEWING AGENCIES

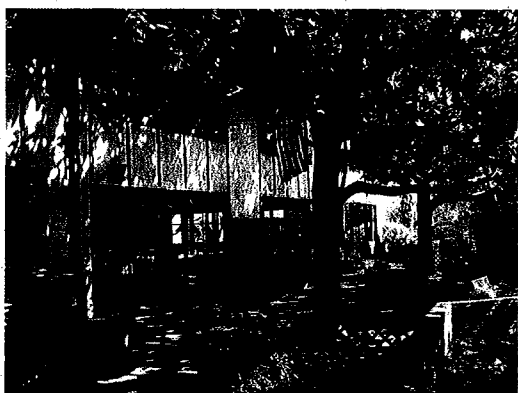
Community Development Department
Police Department
Fire Department

LEGAL NOTICE

1. Notices posted in eight (8) conspicuous locations within 300 feet on March 6, 2007.
2. Advertisement published in the *San Mateo Daily Journal*, Saturday, March 10, 2007.

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301: Existing Facilities.



EXISTING CONDITIONS

The subject property is the parcel bordered between Interstate Route 280, San Bruno Avenue and Whitman Way and located in the southwest quadrant of San Bruno. This is an irregular shaped lot, with an approximate total size of 34 acres. The property is currently developed with eight (8) condominium buildings, six (6) parking garages, four (4) surface lots, tennis courts and a clubhouse. Shelter Creek was originally constructed as an apartment complex in 1967 and later converted into condominiums in 1980 (Use Permit 80-02, Subdivision Map No. 4). Adjacent to the subject property are other high density housing developments, open space and an R-1 area.

SURROUNDING LAND USES

North: San Bruno Avenue - O Zone, open space

South: Whitman Way - R-4 Zone, high-density residential

East: Interstate Route 280 - U Zone, unclassified

West: Madison Avenue - R-1 Zone, single-family residential

PROJECT INFORMATION

The Shelter Creek Homeowner's Association is proposing to hold entertainment events/ social mixers on a regular monthly schedule. Per Chapter 12.84.070 of the San Bruno Municipal Code, a use permit is required when more than three (3) special events are applied for in one (1) calendar year. During the last half of 2006, the applicant hosted three social mixer events with alcohol sold (a daily ABC license was issued for each event) and Community Development and Police Department staff reviewed the events through the Special Event Application. To date in 2007, the applicant has applied for two special events and intends to hold an event each month, therefore triggering the use permit process as discussed. As

such, the applicant requests approval to hold social mixer events on a regular basis for the duration of the property's useful life. The use permit application allows staff and the Planning Commission a chance to regulate the events as part of the overall operation of the condominium complex (See Applicant's Support Statement - Exhibit C).

As shown in the Existing Conditions photos, the events would occur in the Shelter Creek Clubhouse, located at 701 Shelter Creek Lane. The area consists of two floors, with the upper floor housing the main seating area, bar and gathering room.

PROJECT ANALYSIS

The applicant is requesting use permit approval to allow special events on a regular basis as part of the Shelter Creek Condominium Homeowner's Association. Specifically in this case, and the reason the event is considered a special event, is due to alcohol sales in conjunction with a daily Alcoholic Beverage Control (ABC) license at each event. Because the applicant has requested to hold more than three (3) special events per calendar year, a use permit is required.

*Pursuant to the City's Zoning Code, the Commission shall grant the Use Permit if it makes the following findings (required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made):*

- 1. The proposed use will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use.**

With the proposed conditions of approval by the Fire, Police and Community Development Departments, holding a special event at the subject location should not adversely affect the welfare of both the neighborhood and the residents located there. Staff has recommended limited hours for the special events, garbage removal after any event and one security guard required to be available for the duration of any special event. Additionally, the applicant must meet the City's noise ordinance for the Residential zone. Additionally, because the proposed events would occur in or around the Shelter Creek Clubhouse, which is a stand alone building from the eight (8) residential buildings, the associated noise should have minimal effect on the overall property.

As listed in the Applicant's Support Statement (See Exhibit C), social mixer events occurred on a regular monthly schedule in 2003 and earlier and to the applicant's knowledge, there were no complaints. During staff review, the Police Department did not note any previous complaints lodged on the property concerning special events.

- 2. The proposed use will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city.**

The proposed use is generally consistent with what is often found in a large residential complex, whether it be comprised of apartments, condominiums or both. The clubhouse at 701 Shelter Creek Lane has served as a gathering location since the development of the property in the late 1960's. Although the applicant is now requesting to have more than three (3) special events per year, some of which will include the sale of alcohol on site, staff does not find that this type of use will be detrimental to the property. Upon site visit, it was noted that the proposed location for all special events is separate from all

residential buildings and buffered by a large pool and open space area; all management/facilities offices are located within the subject address; and in general, the proposed area is well monitored by Shelter Creek Homeowner's Association staff. Furthermore, during the recently approved special events of 2006 and 2007, staff has not received any complaints or disturbance calls.

As discussed with the applicant, the events give the rather expansive complex's residents a chance to interact socially, enjoy various holidays and foster community. On a property of approximately 34 acres, these events are intended to offer an added amenity to the homeowners at Shelter Creek. As mentioned in the above Finding of Fact (1), staff has recommended conditions of approval that should mitigate any negative impacts surrounding approval of the proposed use in the local area and therefore can support the finding that approval of this use should not negatively impact the property or nearby area.

3. The proposed use will be consistent with the general plan.

The general plan designates the property as zoned in a Planned Development district, although with the current development, the property generally functions as a high density residential district. High Density residential areas typically have much larger populations than R-1 or single family residential districts.

Policy one (1) of the General Plan's description of the residential district states: "*Protect the residential character of existing residential neighborhoods*". Staff has recommended several conditions of approval to minimize the impact of special events on the nearby area and in doing so, approval of this use should meet the intent of Policy one (1).

PUBLIC COMMENTS

None were submitted prior to the Public Hearing.

RECOMMENDATION

Based on the above analysis and Findings of Fact 1-3 below, Staff recommends approval of Use Permit 07-005 subject to conditions 1-12 below.

FINDINGS OF FACT

1. The proposed use will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use because of the conditions of approval regulating noise, garbage removal and event hours as placed by the reviewing departments.
2. The proposed use will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city, as evidenced by the successful special events held in the recent past.
3. The proposed use will be consistent with the general plan.

CONDITIONS OF APPROVAL

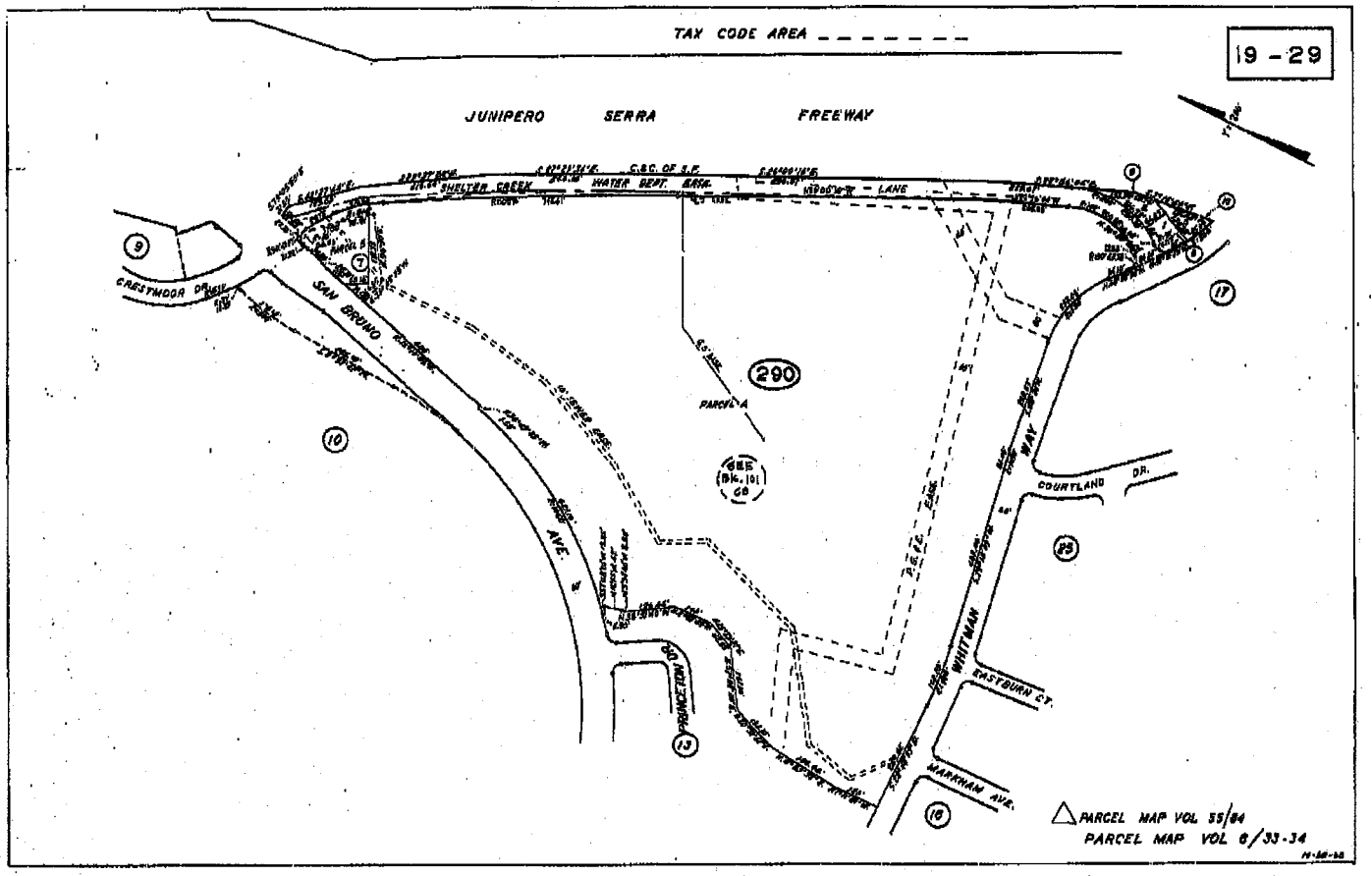
Community Development Department – (650) 616-7074

1. This permit shall be subject to emergency suspension by the Chief of Police, Chief of Fire or his/her designated representative, if he/she determines that the use does not conform to the required conditions and the continued use would constitute an immediate threat to public health and/or safety.
2. Hours of operation shall be limited to 5:00pm to 12:00am for evening special events and subject to revision only with approval of the Community Development Director.
3. On a yearly basis, the applicant shall file a Certificate of Insurance in the amount of \$1,000,000 which covers bodily harm and injury liability and property damage liability, naming the City of San Bruno as additionally insured.
4. All parking for this use shall be off-street and confined to legally designated parking spaces within the subject site and on the surrounding streets.
5. All special event activities shall be confined to the property at 701 Shelter Creek Lane.
6. There shall be at least one security guard onsite for the duration of each special event. All security personnel shall be designated so as to be easily recognizable by the participants and San Bruno Police.
7. Parking lot areas shall be left clear of all loose paper and debris from the special event. The final clean up shall be accomplished no later than 24 hours after the end of the event.
8. An Alcohol and Beverage Control (ABC) license shall be secured and available on site at the request of the Police or Fire Departments prior to start of each event.
9. Use Permit 07-005 approval shall be available on site during the event.

Fire Department – (650) 616-7096

10. Application requires annual special events permit issued by Fire Department.
11. No booths or tents at this location without the permission of the Fire Department and the issuance of any required Fire Code Permits.
12. No food will be cooked at this location without the permission of the Fire Department and San Mateo County Health Department.

Submitted on 02/09/07 by:
Tony Rozzi
Assistant Planner



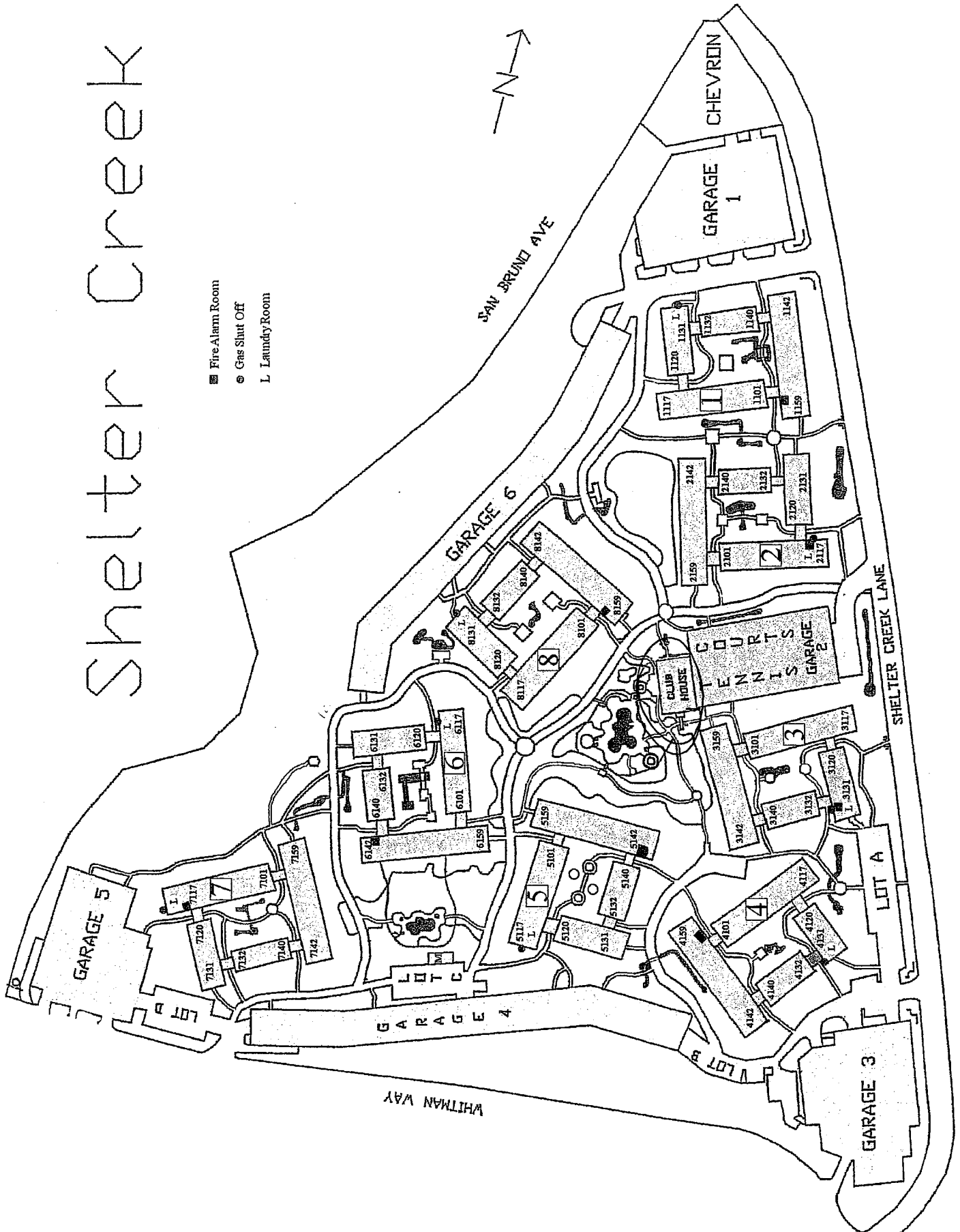
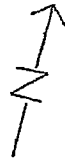
**701 Shelter Creek Lane
019-290-Parcel A
UP 07-005**

Exhibit A – Site Location



Shelter Creek

- Fire Alarm Room
- Gas Shut Off
- L Laundry Room



Date 1-10-07

Dear Tony Rozzi,

Thank you for all your time explaining this process.
Here's a brief summary.

1st Friday of every month we have a Happy Hour for the residents of Shelter Creek from 7:00 p.m. to 10:00 p.m.
It's a great way to bring together and meet New residents as well the old residents. The Club House has 2 full time security guards on duty available to us at all times. These events are run by Volunteers of Shelter Creek.

Current use:

2-2-07	Social gathering about 25 people
12-31-06	New Eve Event about 40 people
11-06	Social gathering about 25 people
10-06	Social gathering about 25 people
9-06	Social gathering about 25 people
8-06	Social gathering about 100 people

Our Events Started back up again this time

Prior:

2003 we had Happy Hour Events every 1st Friday of the month for years without any complaints or issues.

Between 2003 & 2006

No Volunteers made made themselves available to run any events.
There should be records available from 2003 & prior.

Thx a bunch,
Gundula Sartor
Board of Director
of Shelter Creek

Exhibit C



567 El Camino Real
San Bruno, CA 94066
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<http://www.ci.sanbruno.ca.us>

STAFF

Aaron Akin, AICP, *Interim Community Development Director*
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Perry Petersen
Joe Sammut
Sujendra Mishra

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. E5
March 20, 2007**

PROJECT LOCATION

1. Address: 3520 Longview Drive
2. Assessor's Parcel No: 017-382-120
3. Zoning District: R-1 (Single Family Residential)
4. General Plan Classification: Low Density Residential

EXHIBITS

- A:** Site Location
B: Site Plan and Floor Plan provided by applicant
C: Daycare Description

REQUEST

Request for a Use Permit to allow a large family day care operation in a single-family residential zone; per Section 12.84.200 & 12.96.060.C.6 of the San Bruno Zoning Ordinance. Mary Petersen (Applicant); Joanne Funk (Owner) **(UP-07-004)**

RECOMMENDATION

Staff recommends that the Planning Commission **approve** Use Permit 07-004 based on Findings of Fact (1-4) and Conditions of Approval (1-13).

REVIEWING AGENCIES

Community Development Department
Fire Department

AREA DESCRIPTION

North: Castleton Way, R-1 Zone – Single family residences
South: City Limits- San Francisco Jail Site
East: Castleton Way, R-1 Zone - Single-family residences
West: Ross Way, R-1 Zone - Single-family residences

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on March 9, 2007.
2. Advertisement published in the *San Mateo Daily Journal*, Saturday, March 10, 2007.

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301: Minor Alteration to Existing Facilities.

EXISTING CONDITIONS

The subject property is located on Longview Drive near Ross Way in the vicinity of Skyline College. (Please refer to Exhibit A, Site Location) The lot is 5,720 s.f. and is generally rectangular in shape with an angular cut out at the rear of the property. The home has 5 bedrooms, 3 baths, and a 2-car garage all totaling 2,240 s.f. The applicant has been operating a small daycare facility at this location since 2003. The Code Enforcement Division has not received a code enforcement complaint regarding this small daycare facility to date.

PROJECT DESCRIPTION & ANALYSIS

The applicant proposes to enlarge the existing family daycare facility at 3520 Longview Drive to care for up to 14 children. A use permit is required for a large family daycare facility (more than eight children) in a residential zone, as well as approval by the State of California. The applicant expects to have 8-10 children in her care at any one time and does not anticipate reaching the 14-child maximum.

The applicant proposes to operate the large family daycare in the same way as she has been operating the existing small family daycare. The current hours of operation are Monday through Friday from 7:00 A.M. to 5:30 P.M. Daycare activities are conducted in the living room, kitchen, playroom, three of the five bedrooms, and in the backyard. Per the applicant, children typically receive instruction in the upstairs playroom or on the outside deck in good weather. There are two outdoor playtime periods, one from 12 P.M. to 1:00 P.M., and again in the afternoon, between 3:30 and 5:30 P.M. A fence divides the yard into two areas. A deck and play structure are located on the west side of the property, adjacent to the neighbor's house. The east side of the fence is off limits to the daycare and contains an outside staircase that functions as an emergency exit from the second story.

Pursuant to the San Bruno Municipal Code, the Commission shall grant the use permit if it makes the following findings (required findings are in bold followed by staff's findings):

1. **The proposed facility meets the locational standards of subsection B:**
 - a. **Location within a residential district:**

The subject property is located within the R-1 (Single Family Residential) District, therefore this finding can be made.

- b. **The proposed facility will not result in undue negative impacts upon the neighborhood vicinity. Factors to be considered shall include traffic, parking, noise and the spacing and concentration of similar facilities within the vicinity of the proposed facility. The Planning Commission may impose reasonable conditions in order to mitigate potential undue negative impacts.**

The proposed use will not significantly increase negative impacts with the conditions set forth in this staff report.

As described by the applicant and confirmed during the site visit, the subject property is able to accommodate two cars in the driveway and the applicant's car can be parked in the garage. A Condition of Approval has also been added to require the parents and guardians first park in the driveway while picking up and dropping off their children. This will ensure that the use does not significantly impact on-street parking, as well as traffic, and will also ensure the children's safety by not requiring the children to walk on the street to be picked up and dropped off. Parking is not a significant issue in the area around the subject site, as most of the homes have two-car garages and driveways that can accommodate parking.

To minimize any noise impacts, a Condition of Approval has been added that the applicant directs the parents and guardians not to use their horn while picking up and dropping off the children. Additionally, a Condition of Approval has been added that all outdoor activities by the children be supervised to control noise. With these conditions, the proposed use will not generate more noise than that typical of a residential use.

There are no other large family daycare facilities in the immediate vicinity of the subject site.

- 2. The operator of the facility will provide an area on the lot for parking or stopping of vehicles to allow children to be picked up or dropped off within thirty (30) minutes before and after the hours of the day when day care will be provided.**

The driveway can accommodate two parked cars, where the parents and guardians are required to park while picking up and dropping off the children. Furthermore, staff verified during the site visit that the applicant is able to park in the garage. There are currently no employees that live outside of the home, so the driveway space can be kept clear. A Condition of Approval has been added to require that any future employees also park in the garage.

- 3. The proposed facility complies with applicable off-street parking standards of the zoning ordinance.**

The subject property contains an attached two-car garage and driveway. Since the applicant is not proposing any addition to the existing facility, the subject property conforms to the parking standards of the zoning ordinance and this finding can be made.

- 4. The proposed facility complies with applicable building and fire code provisions, and with the applicable building standards adopted by the State Fire Marshal.**

Fire Department staff granted conditional approval pending final inspection with the Condition of Approval that applicant install a manual pull station with a horn and strobe.

PUBLIC COMMENTS

Staff mailed a courtesy notice to all adjacent properties on March 2, 2007. A 300' notification was mailed out on March 9, 2007 and staff has not received any comments as of this report.

RECOMMENDATION

After speaking with the applicant and conducting a site visit, staff feels comfortable with conditions of the current daycare center. Staff finds that with the conditions of the approval, the proposed use of the structure as a large day care facility will not have a significant impact on the surrounding neighborhood, and will be a safe place for children.

Based on the above analysis and Findings of Fact 1-4 below, Staff recommends approval of Use Permit 07-004 subject to conditions 1-13 below.

FINDINGS FOR APPROVAL

1. The use permit to operate a large family day care home is for the house located at 3520 Longview Drive, which is located in a residential district.
2. The use permit to operate a large family day care home at the house at 3520 Longview Drive will not result in undue negative impacts upon the neighborhood vicinity in terms of traffic, parking, and noise.
3. The operator of the facility will provide a two car driveway on the lot for parking or stopping of vehicles to allow children to be picked up or dropped off within thirty (30) minutes before and after the hours of the day when day care will be provided.
4. The existing home complies with applicable off-street parking standards of the zoning code since the subject property contains an attached two car garage
5. Based on a site inspection by the Fire Department staff, with the conditions of approval, the existing home complies with applicable building and fire code provisions.

CONDITIONS FOR APPROVAL

Community Development Department - (650) 616-7074

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 07-004 shall not be valid for any purpose.
2. Applicant must obtain a business license through the Finance Department.
3. The request for a use permit for a large family day care home at 3520 Longview Drive shall operate according to plans approved by the Planning Commission on March 20, 2007, labeled Exhibit B except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. Parents and guardians dropping off and picking up children from the home shall be directed to not honk their car horn.

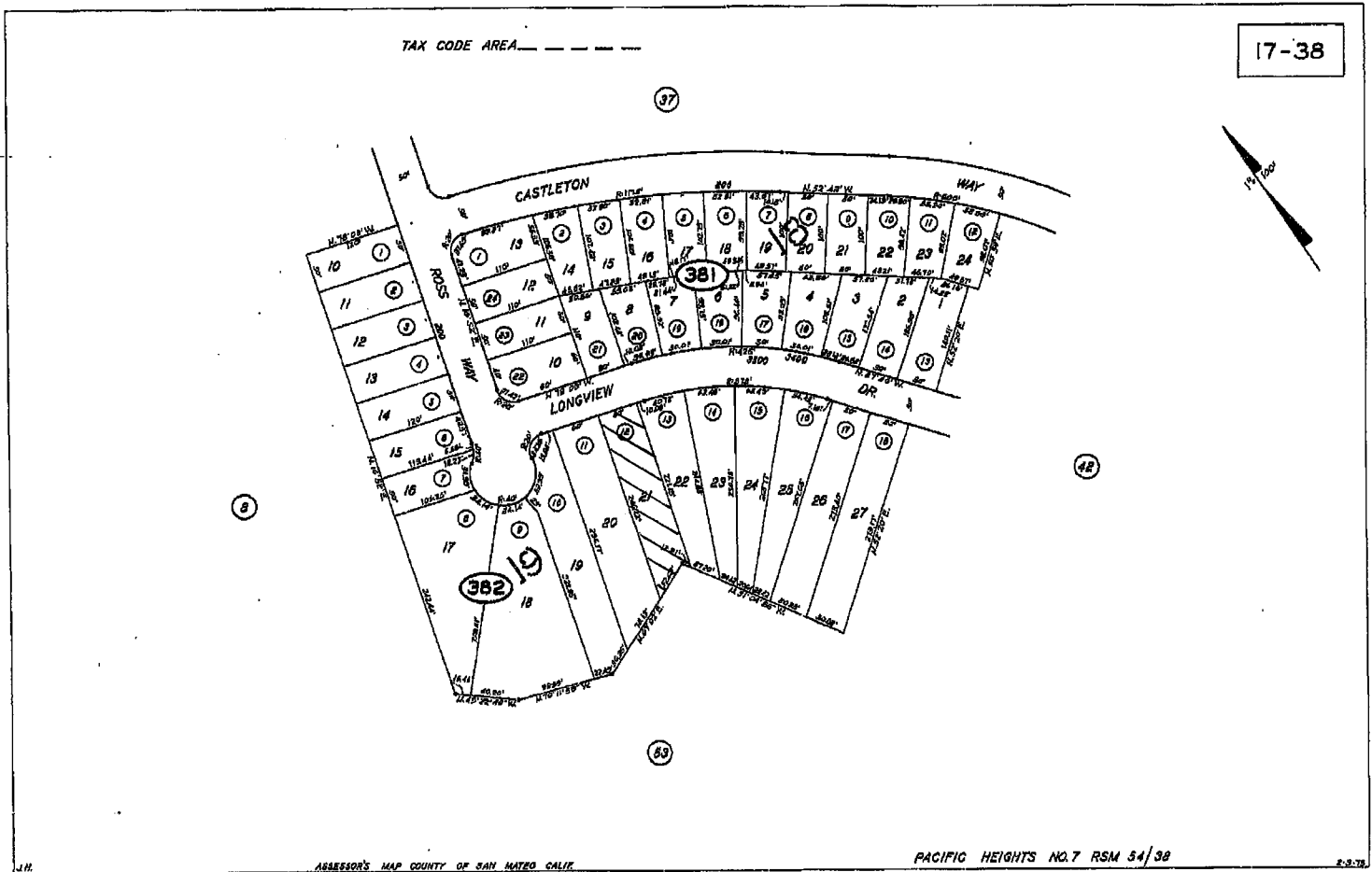
5. Parents and guardians dropping off and picking up children from the home must park on the driveway when picking up and dropping off their children. In the event the driveway is not available, the parents shall use the parking area directly in front of the home.
6. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
7. Children shall be supervised at all times when outdoors to control noise levels. Violation of the Noise Ordinance could result in this application being called back up to the Planning Commission for revocation.
8. The applicant shall obtain a license from the State of California to operate a large family day care center.
9. The number of children shall be limited to a maximum of fourteen (14) at any one time, including any of the applicant's own children.
10. Applicant must park their personal vehicle(s) in the garage within thirty (30) minutes before and after daycare hours. If, in the future, non-resident employees are hired, they must park in the garage or receive approval for a revised parking configuration from the Community Development Director.

Fire Department - (650) 616-7096

12. Provide a manual pull station with a horn and strobe. Installation will require an electrical permit.
13. Approval pending final inspection by Fire Department.

Date of Preparation: March 9, 2007
Prepared by: Laura Russell
Assistant Planner

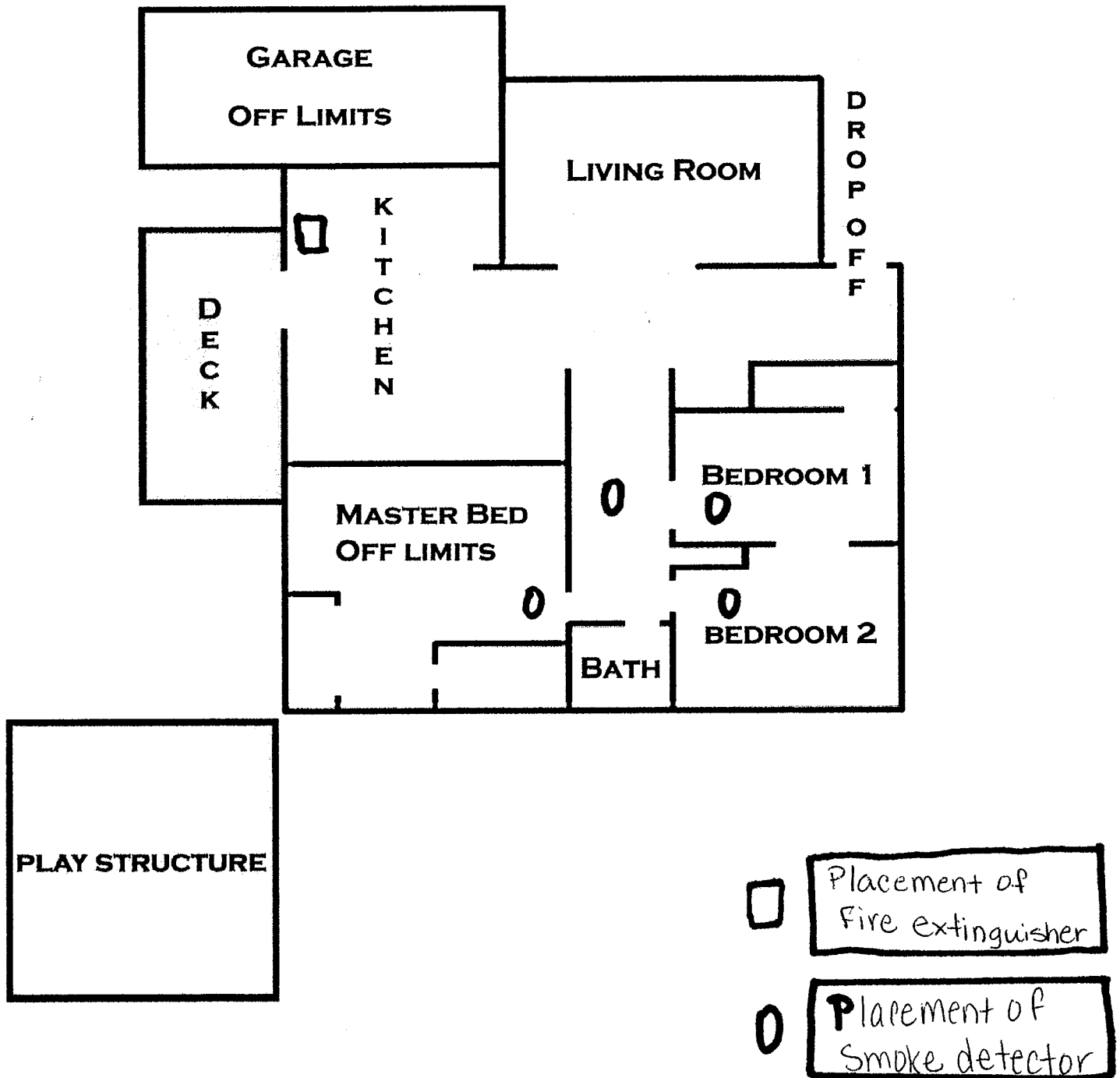
Exhibit A – Site Location



3520 Longview Drive
019-082-120
UP 06-035

My Favorite Preschool
Mary Petersen
3520 Longview Drive
Downstairs Floorplan

Vehicles park on street and/or on driveway
for pickup and drop-off of children



Shaded area is outside of building

1/16/07

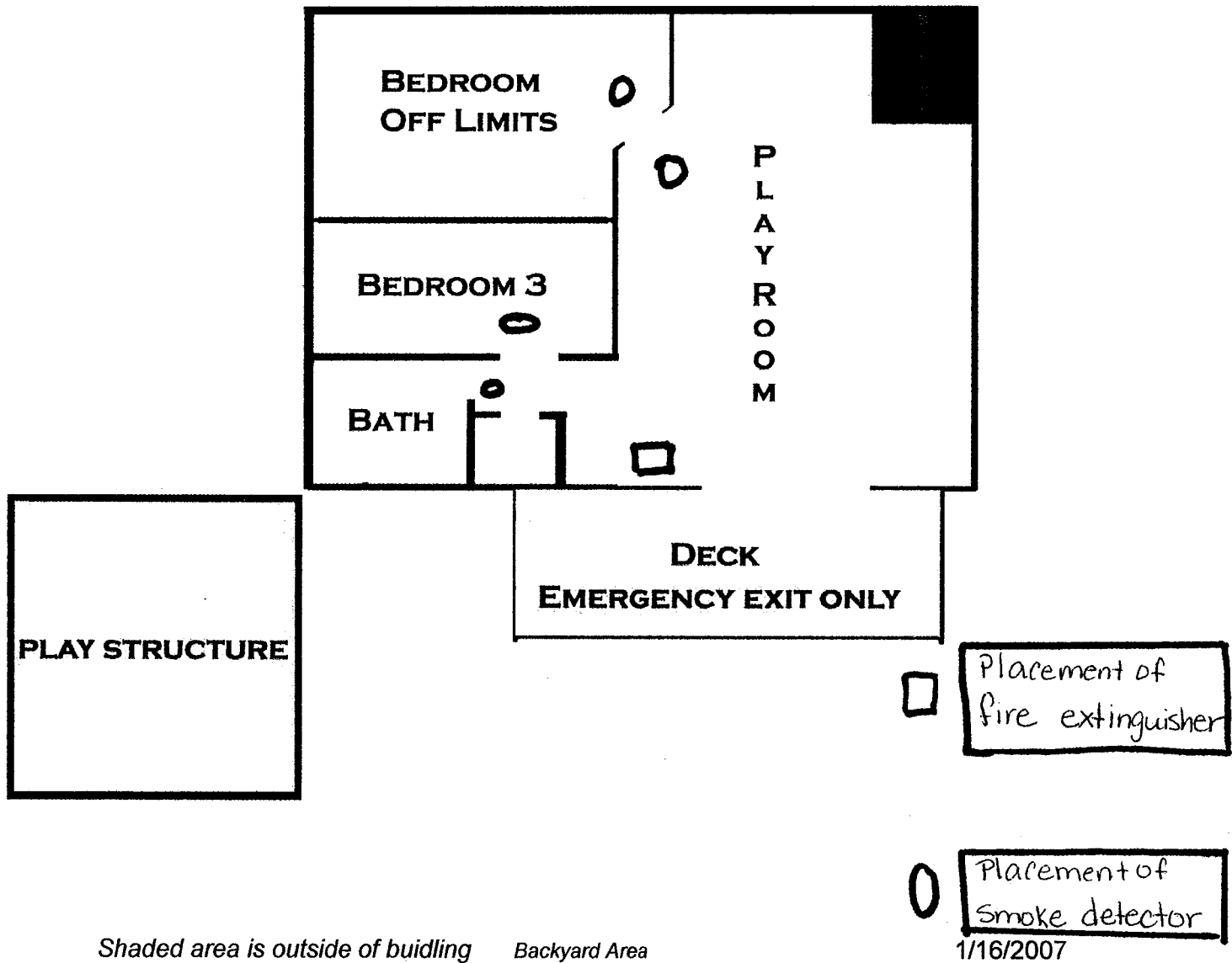
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My Favorite Preschool
Mary Petersen
3520 Longview Drive, San Bruno
Upstairs Floorplan

LONGVIEW DRIVE

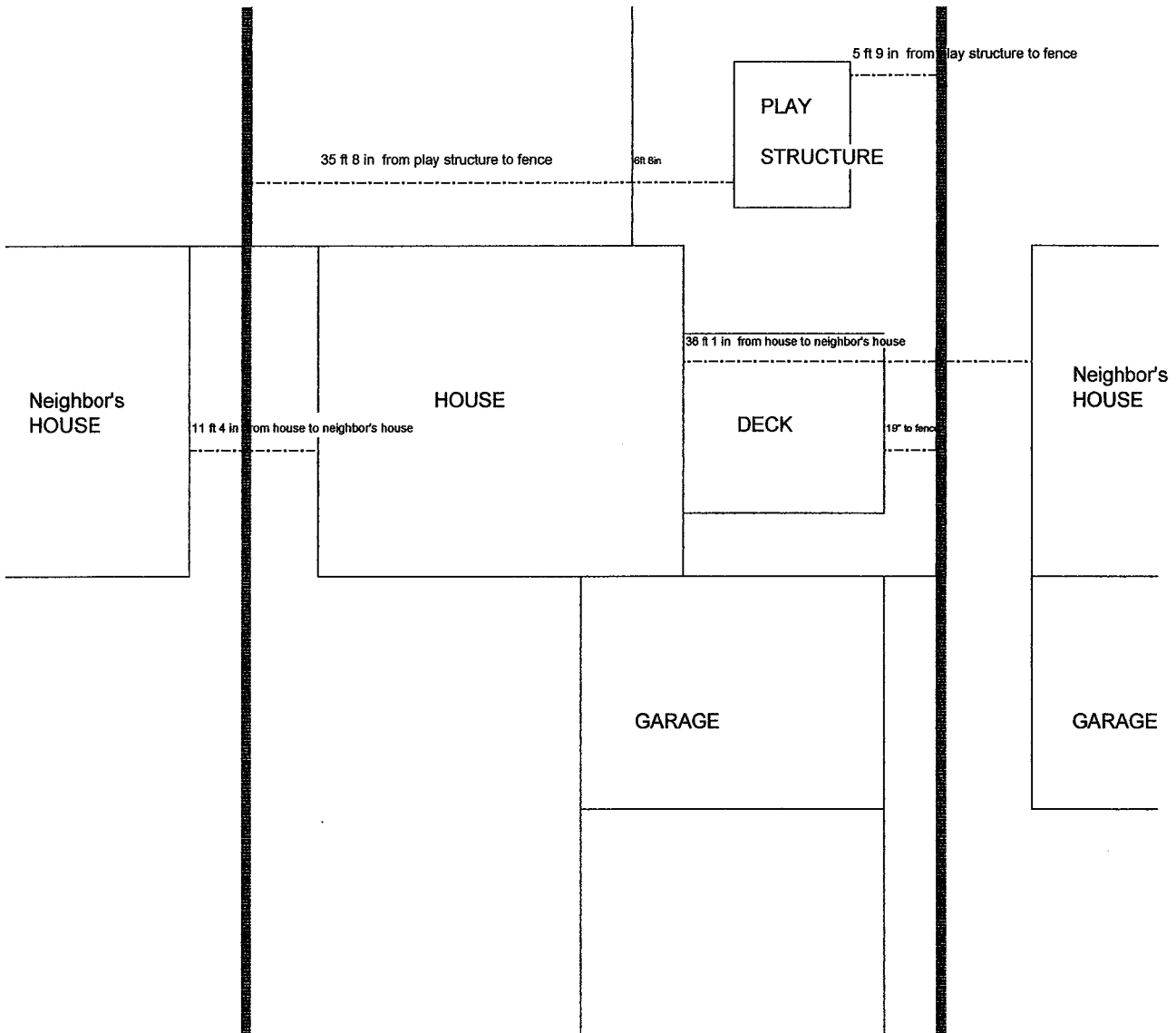
DRIVEWAY

FRONT YARD AREA



1/16/2007

My Favorite Preschool
Mary Petersen
3520 Longview Drive
Site Plan



Sidewalk

LONGVIEW DRIVE

2/28/2007

N
↓

My Favorite Preschool

3520 Longview Drive San Bruno CA 94066 650-359-3501
License #414001686

February 27, 2007

Laura C. Russell
Assistant Planner
City of San Bruno
567 El Camino Real
San Bruno, CA 94066

CITY OF SAN BRUNO
COMMUNITY DEVELOPMENT DEPARTMENT

MAR 01 2007

Re: Application [REDACTED] Incompleteness letter

RECEIVED

Dear Ms. Russell,

In response to your incompleteness letter of February 15, 2007, I am submitting six sets of a revised package of submittals.

In addition to the documents from the original submittal, I am including a site plan which includes the property lines, location of structures (including the play structure), and the approximate location of the adjacent houses.

Additionally, the floor plans have been updated designating the location of the fire extinguishers and smoke detectors.

In your letter you also requested a description of the following:

1. The total number of children proposed under the new license is 8 to 10.
2. Approximately 8 to 10 children will be on site at any one time.
3. There are currently no employees that are not residents of the home.
4. Parking for employees is not at issue, see 3.
5. After-school care children, if any, will be picked up by one of the residents of 3520 Longview Drive.
6. Staggered drop-off and pick times will be as follows:
 - a. Two children arrive between 7:00 and 7:45 am daily, there is sufficient parking for two vehicles both on the driveway and in front of the residence; pickup is between 3:30 and 4:30pm
 - b. Two children are neighbors and walk here accompanied by their parent(s) and arrive at 9:00am; pick-up between 4:00 and 4:45pm and walk home accompanied by their parent(s) *[note-they live two doors down on the same side of the street]*
 - c. One child arrives at 9:00am and is picked up at 1:00pm
 - d. One child arrives at 10:00am and is picked up at 2:00pm
 - e. One proposed child will arrive between 8:00am and 8:30am and will be picked up between 5:00pm and 5:30pm
 - f. Two children live at 3520 Longview Drive, one is under two and the second is school-aged

City of San Bruno
Laura Russell
Application #UP-07-004 Incompleteness letter
February 27, 2007
Page 2

Staggered drop-off and pick-up as described in 6:

	a	b	c	d	e	f	f
Drop-off	7:00-7:45	9:00	9:00	10:00	8:00-8:30	resident	resident
Pick-up	3:30-4:30	4:00-4:45	1:00	2:00	5:00-5:30	all day	after-school
#children	2	2	1	1	1	1	1
Vehicles	2	0 (walk)	1	1	1	n/a	n/a

6. cont'd

g. A second proposed child would arrive between 8:30 and 9:00am and leave between 5:30 and 5:45pm

If there is any additional information you require please let me know. You can always call me at 650-359-3501 or email at myfavoritepreschool@yahoo.com.

Sincerely,

Mary Petersen
My Favorite Preschool

Encl. Six copies each:
January 31, 2007 Letter to Tony Rozzi
Flier
2007 Holiday Schedule
Children's File Checklist
Hours of Operation
Enrollment Agreement
Downstairs Floorplan, revised
Upstairs Floorplan, revised
Site Plan
February 27, 2007 incompleteness letter response

My Favorite Preschool

3520 Longview Drive San Bruno CA 94066 650-359-3501
License #414001686

January 31, 2007

Tony Rozzi
City of San Bruno
567 El Camino Real
San Bruno, CA 94066

Re: Large License Application and Submittals

Dear Mr. Rozzi,

I want to thank you for your time and assistance in my preparing the required documents and information for my application for a large facility license.

As we have discussed, I have had a small license since 2003 and have developed a consistent base of families that rely on my daycare and preschool. I have been receiving many referrals from this base and have decided to apply for a larger license to accommodate the increase in interest. In my first four years of operation I am pleased to say that there has not been one complaint raised by my parents, or by any of my neighbors in the surrounding area.

I am enclosing a flier which I use to promote my preschool. The flier states the philosophy of my operation and what I encourage through the curriculum. I am proud of the home environment we provide and the loving care that exists for the children. It is important to my parents to know that their child is treated not just as another child to merely watch, but as a member of our family; nurtured and loved as we do our own children. I have received a lot of positive feedback from my parents and I thoroughly enjoy teaching and caring for their children.

Each year I update the holidays and time-off for the daycare/preschool which I am enclosing for your use. As well, a copy of the check-list of required forms that I give to parents/guardians to sign is enclosed. Additionally, I have updated my Hours of Operation handout to direct the parents on the accepted parking areas and a statement regarding not using their horns to ensure acceptable noise control. I have also updated the enrollment agreement which new enrollees sign with the parking information. Copies of each are enclosed.

Regarding the daily operation, all preschool instruction is provided in the upstairs play room and when the weather is good we will sometimes work on the outside deck attached to the downstairs kitchen. Snacks are provided either on the outside deck or in the kitchen dining area during bad weather. Naps are taken in the upstairs playroom and/or bedroom 3 by the older children. The designated sleeping areas for the younger children and infants are the downstairs bedroom 1 and bedroom 2. The outdoor playtime periods are held in a fully enclosed fenced backyard with a play structure or the gated deck area. One period is during the 12:00 p.m. hour and again in the afternoon, between 3:30 and 5:30 pm. There is a direct exit out of the living room area as well as the downstairs kitchen dining area.

City of San Bruno
Tony Rozzi
Large License Application and Submittals
January 31, 2007
Page 2

There is room for two vehicles to park in the driveway, and ample room for two vehicles to park directly in front of the house. Parents are directed to park first in the driveway and second directly in front of the house parallel to the sidewalk. There is not a hardship for parents to drop-off and pick-up as different schedules are offered which lessens traffic.

There are two neighbors on either side of the house. The neighbor on the west side of the property is closest to the outside play area. The neighbor on the east side of the property is separated from the play area by a fenced-in secondary backyard area which is off-limits to the daycare operation. Both neighbors are aware of the children and neither have made or filed a complaint regarding the noise level or street traffic. There are no neighbors to the rear of the house as this area is an open down-hill sloped hillside and is separated from the play area by a six foot fence.

If there is any additional information you require please let me know. You can always call me at 650-359-3501 or email at myfavoritepreschool@yahoo.com.

Sincerely,

Mary Petersen
My Favorite Preschool

Encl. Flier
 2007 Holiday Schedule
 Children's File Checklist
 Hours of Operation
 Enrollment Agreement
 Downstairs Floorplan
 Upstairs Floorplan

My Favorite Preschool

Love-Consistency-Harmony

At My Favorite Preschool your child is encouraged to learn through indoor and outdoor activities while having fun. Your child's unique physical, social and cognitive development is promoted in our secure, loving home environment.

Their special uniqueness and individual growth will bloom in our family atmosphere filled with daily doses of love, consistency and harmony.

Experience this wonderful way to begin your child's journey.

NOW ENROLLING

My Favorite Preschool

NOW ENROLLING

*In San Bruno near Skyline College
Over seven years experience*

Full-time and part-time care available
18 months to Five years old.

(Ask about availability of infant care)

Healthy nutritious snacks and meals provided
Preschool curriculum for Kindergarten readiness

Call Mary for a visit today.

650-359-3501

License # 414001686

My Favorite Preschool

3520 Longview Drive San Bruno CA 94066 650-359-3501
License #414001686

Hours of Operation

7:00 am to 9:00 am drop off*

9:00 to 1:00 preschool hours

12:00 to 1:00 lunch, outside time**

1:00 to 3:00 nap time

3:00 to 3:30 story time

3:30 - 5:30 snack, outside time**

5:30 parent pick up*

**drop-off and pick-up at front door
(see notes)*

*** inside time depending on weather*

Notes:

Please be sure to sign-in when arriving and sign-out when picking up your child(ren)

*Please park in the drive way while dropping off or picking up your child(ren)
or on the street directly in front of the house if no space is available in the driveway.*

Please do not use your horn when dropping off or picking your child(ren)



My Favorite Preschool

3520 Longview Drive San Bruno CA 94066 650-359-3501

License #414001686

Preschool Hours and Rates**

Mon – Fri	9:00 am to 1:00 pm	\$30.00
	7:00 am to 5:30 pm	\$45.00
	After School Care	\$40.00
Infants [under 2]	All Day	\$55.00

*****Note: fees are payable for all contracted days whether your child is sick,
or we are closed for a holiday or time-off day***

2007 Holiday Schedule

The following days are the observed holiday and time-off days for
My Favorite Preschool for the
January through December 2007 time period:

<i>New Year's Day</i>	<i>Monday, January 1, 2007</i>
<i>Day After New Year's Day</i>	<i>Tuesday, January 2, 2007</i>
<i>Martin Luther King Birthday</i>	<i>Monday, January 15, 2007</i>
<i>President's Day</i>	<i>Monday, February 19, 2007</i>
<i>Memorial Day</i>	<i>Monday, May 28, 2007</i>
<i>Independence Day</i>	<i>Monday to Friday, July 2 - 6, 2007</i>
<i>Labor Day</i>	<i>Monday, September 3, 2006</i>
<i>Thanksgiving Day</i>	<i>Thursday, November 22, 2006</i>
<i>Day after Thanksgiving Day</i>	<i>Friday, November 23, 2006</i>
<i>Christmas to New Year's</i>	<i>Monday to Wed, Dec. 24, 2006 - Jan 2, 2008</i>



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
<http://www.ci.sanbruno.ca.us>

STAFF

Aaron Akin, AICP, *Interim Community Development Director*
Mark Sullivan, AICP, *Housing and Redevelopment Manager*
Lisa Costa Sanders, *Acting Planning Manager*
Tony Rozzi, *Assistant Planner*
Laura Russell, *Assistant Planner*
Pamela Thompson, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
Bob Marshall, Jr., *Vice-Chair*
Kevin Chase
Mary Lou Johnson
Perry Petersen
Joe Sammut
Sujendra Mishra

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. E.6
March 20, 2007**

PROJECT LOCATION

1. Address: 446 Redwood Avenue
2. Assessor's Parcel No.: 020-223-300
3. Zoning District: R-1 (Single-Family Residential)
4. General Plan Classification: Low Density Residential

EXHIBITS

- A: Site Location
B: Site Plan, Floor Plans, and Elevations
C: Photo of Existing Site

REQUEST

Request for a Use Permit to allow the construction of an addition which exceeds the Floor Area standard of .55 per Section 12.200.030.A.1 of the San Bruno Zoning Ordinance. Martijn and Michelle Blumenthal, (Applicant/Owner) - **UP-07-12**

RECOMMENDATION

Staff recommends that the San Bruno Planning Commission **approve** Use Permit UP-07-12 subject to the attached Findings of Fact (1-6) and Conditions of Approval (1-13).

REVIEWING AGENCIES

Community Development Department
Public Works Department
Fire Department

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on March 9, 2007.
2. Advertisement published in the *San Mateo Daily Journal*, Saturday, March 10, 2007.

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15303(A): New Construction of a Single Family Residence/Conversion of a Structure.

AREA DESCRIPTION

North: Jenevein Avenue – R-1 (Single-Family Residential)
 South: Niles Avenue -- R-1 (Single-Family Residential)
 East: Cedar Avenue – R-1 (Single-Family Residential)
 West: Hawthorne Avenue – R-1 (Single Family Residential)

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		Single-family residence	Same	Same
Lot Area		5,000 sq.ft.	5,152 sq. ft.	Same
Lot Coverage		2,267 sq. ft. (44%)	1,080 sq. ft. (21%)	1,653 sq. ft. (32%)
Gross Floor Area		2,834 sq. ft.	2,400 sq. ft.	2,973 sq. ft.
Floor Area Ratio		.55	.47	.577
Building Setbacks	Front	15'	17'	Same
	Rear	10'	35' 6"	27'-6"
	Side	5'	7' north side 9' south side	7' north side 5' south side
Building Height		28'	21'	21'
Covered Parking		2 covered spaces	2 covered spaces	Same

EXISTING CONDITIONS

The subject property is a 5,152 square foot lot with a slight slope. The lot is 56'-0" wide and 92'-0" deep. The property is currently developed with a contemporary, 2,400 square foot two-story residence with an attached two-car garage. The existing home contains three bedrooms, two bathrooms, a sitting room and kitchen on the second floor and an entry foyer, playroom and two-car garage at the ground floor. The existing house conforms to all lot coverage, floor area, and height standards.

PROJECT DESCRIPTION

The Planning Commission, at its March 18, 2003 meeting, granted a use permit to allow a 482 square foot first story addition with new second floor decks at 446 Redwood Avenue. The applicant did not proceed with constructing the addition and the use permit expired on March 18, 2004. The previously proposed addition and interior renovation would have resulted in a home with five bedrooms, five bathrooms, family room, living room, dining room, kitchen and nursery. No changes were proposed to the existing two-car garage.

The applicant has submitted revised plans for Planning Commission consideration. The revised plans propose to expand the house with a 573 square foot first floor addition to the rear of the existing residence and reconfigure much of the interior. The result will be four bedrooms, three bathrooms and a family room at the second floor and an entry foyer, dining room, living room,

kitchen and bathroom at the ground floor. The existing two-car garage at the ground level will remain. This project requires use permit review because it has an FAR of .577 (.55 is the threshold). The project meets height and lot coverage standards and does not have any setback encroachments.

PROJECT ANALYSIS

The applicant is proposing an addition of 573 square feet to the home. The project would increase the existing gross floor area by 23%. The total resulting gross floor area with the addition is 2,973 square feet and exceeds the floor area standard of .55, by 139 square feet, thereby requiring a conditional use permit.

Use Permit 07-012

*Pursuant to the City's Zoning Code, the Planning Commission shall grant the Use Permit if it makes the following findings (required findings are in **bold** followed by staff's analysis of the project and how the findings cannot be made with the current design):*

Staff is recommending approval based on the following findings;

- 1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use.**

With the condition that the applicant obtain a building permit prior to construction, the addition will be constructed according to the Uniform Building Code (UBC) and therefore will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood. The proposed structure meets all required setbacks and all UBC safety requirements. Therefore, the development will not be detrimental to the health and safety of the persons residing in the neighborhood.

- 2. The proposed development will not be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city.**

The applicant is proposing an addition to an existing two-story home originally constructed in 1956. The previously approved addition was slightly smaller than the current proposal and extended across the full width of the residence. The addition was approved to be located 5' from the right side property line and 35'-6" from the rear property line. The previous approval also included two second floor decks at the rear elevation.

The current proposal also places the addition to the rear of the existing residence, with a 5' setback at the right side yard and 27'-6" rear yard setback. The proposed addition is single story, at a height of 12'-9". The addition is proposed to be finished with stucco to match the existing residence, as well as replace the existing vertical "T1-11" siding at the rear elevation with stucco. New windows are proposed throughout the existing residence to match the new windows in the addition. Two new sets of sliding glass doors are proposed at the rear of the addition leading to the backyard. The addition includes a small window at the north side elevation.

Staff finds that the proposed addition is compatible with the design of the existing home and complements the current neighborhood design.

With the existing two-car garage, on-street parking in the neighborhood area would not be negatively impacted since two car covered parking meets the property's off-street parking code requirements.

3. The proposed development will be consistent with the general plan.

The General Plan designates the property as low-density residential district and the proposed addition to the single-family structure is consistent with this residential general plan designation. The home's floor plan will continue to accommodate a single family only and no portion is intended as a second unit. Any future establishment of a second dwelling unit on the property would require Planning Division review.

4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.

The proposed structure will not unreasonably restrict or interfere with light and air on the properties in the neighborhood as the addition is single story, at a height of 12'-9". The roofline design maintains a low profile along the side elevation. The structure will maintain required setback distances from the property lines and is designed within the height limits.

As stated above, Staff feels that the design of the addition is consistent with the design and scale of the neighborhood.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood.

As stated above, the design is compatible with the design of the existing residence and the neighborhood. Specifically, the addition incorporates exterior finish materials consistent with the existing residence and the neighborhood (stucco wall finish and composition roof material). The addition is single story, located at the rear of the existing residence and will be minimally visible from the public right-of-way.

6. The proposed expansion complies with applicable off-street parking standards of the zoning ordinance.

The existing home includes an attached two-car garage. The provision of two car covered parking meets the zoning ordinance requirements based on the size of the home with the addition.

NEIGHBORHOOD CONCERNS

Staff mailed public notices prior to the Planning Commission meeting. As of the date of this report, no comments have been received.

Recommendations

Based on the above analysis and Findings of Fact 1-6 below, Staff recommends approval of Use Permit 06-30 subject to conditions 1-13 below.

FINDINGS OF FACT

1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use since all construction will meet the Uniform Building Code and attain all appropriate Building Division permits.
2. The proposed development will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city given the expansion is in scale with the neighborhood and the off-street parking requirements are met, thereby eliminating any negative impacts to on-street parking availability.
3. The proposed development will be consistent with the general plan, since the proposed single family home meets the general plan designation of low density residential for the subject property.
4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.
5. That the general appearance of the proposed architectural design will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood since this addition will be an economic benefit to the surrounding area.
6. With the provision of a two-car garage the project will comply with the off-street parking standards of the City of San Bruno Zoning Ordinance.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7074

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 07-012 shall not be valid for any purpose. Use Permit 07-012 shall expire one (1) year from

- the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the conditions of approval shall be photocopied and included as a full size page in the Building Division set of drawings.
 3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on March 20, 2007, labeled Exhibit B except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
 4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
 5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
 6. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.

Fire Department – (650) 616-7096

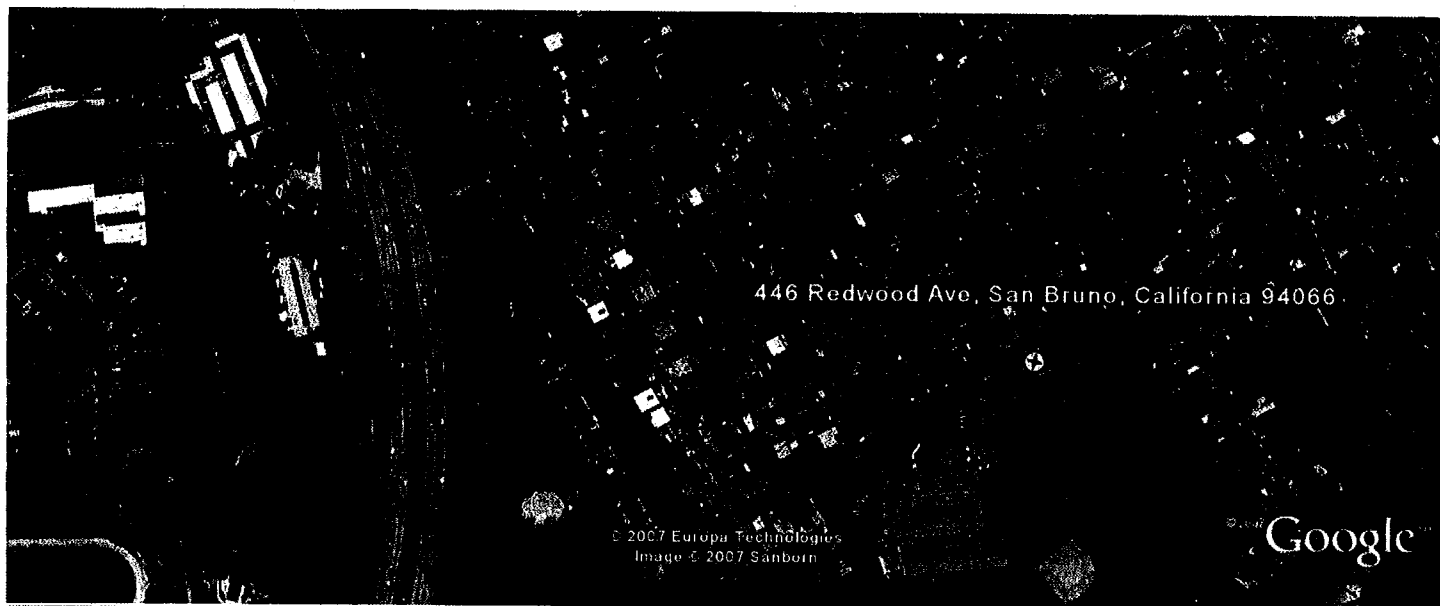
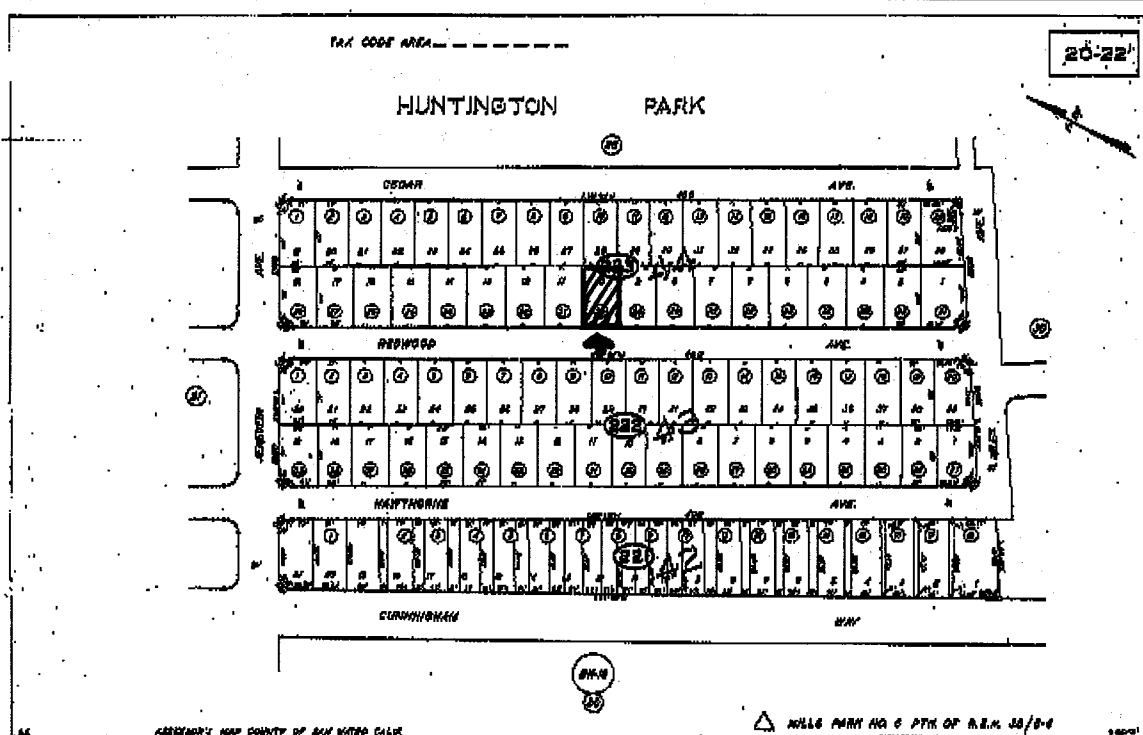
7. Provide minimum 4" illuminated address numbers on the front of the building.
8. Provide hardwired smoke detectors with battery back up to all bedroom and hallway/corridors.
9. Provide spark arrestor on chimney if present.

Department of Public Works – (650) 616-7065

10. Note that the City does not own or maintain rear yard storm drain system. All collected storm drainage shall be discharged into curb at front of property.
11. Any work in public right of way including new sewer lateral or new drain through curb will require issuance of separate encroachment permit. All work in right of way shall comply with standard specifications and standard plans.
12. Any damaged sidewalk, curb, gutter, or driveway will be required to be repaired. Any crack or offset of 3/4" or more constitutes damage that will require repair.
13. At time that building permit is issued, applicant will need to pay tree planting fee of \$540.

Submitted on March 9, 2007 by:
Lisa Costa Sanders, Acting Planning Manager

446 Redwood
 020-223-300



446 Redwood Ave, San Bruno, California 94066

Exhibit A – Site Location

FINISH SCHEDULE/SPECIFICATIONS

BATHROOM PLUMBING & ACCESSORY SCHEDULE

700

PAINT NOTE:

TABLE 1

STONE NOTE: SUBCONTRACTOR TO PROPERLY SEAL ALL STONE, SUBMIT MAINTENANCE GUIDELINES TO OWNER. ALL STONE AVAILABLE

BLUMENTHAL RESIDENCE REMODEL

APP# 020-223-300
446 REDWOOD AV
SAN BRUNO, CA 94066

[illegible]

FINISH SCHEDULE/SPECIFICATIONS		ROOM NAME	
CE	EXISTING NO CHANGE	ENTRANCE/LOBBY	
CE		COAT CLOSET	
CE		LIVING ROOM	
CE		DINING ROOM	
CE		KITCHEN	
CE		PANTRY ROOM	
CE		BATH #1	
CE		BATH #2	
CE		BATH #3	
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**BLUMENTHAL
RESIDENCE
REMODEL**

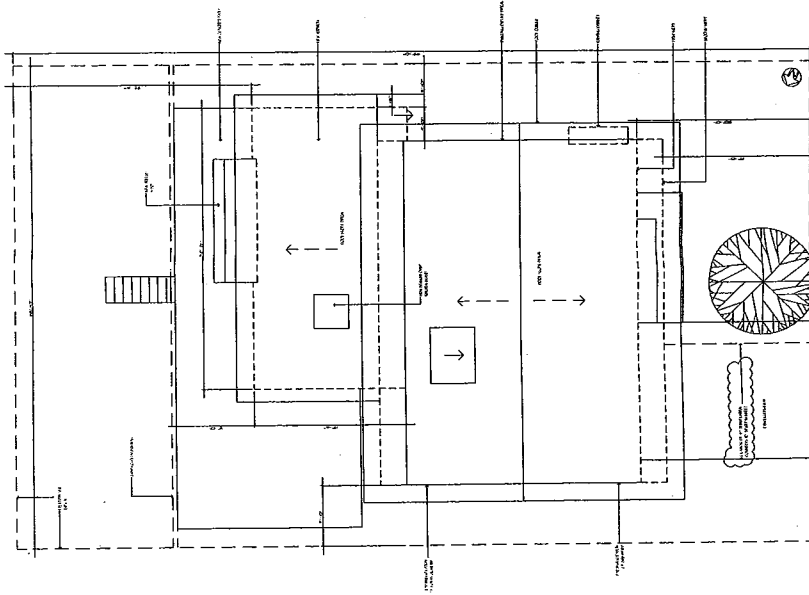
APP# 020-223-300
446 REDWOOD AV
SAN BRUNO, CA 94066

Revisions	Date
PROJECT REVIEW	MAY 2008
PERMIT REVISION	DEC 27 2008

Sheet Title

SITE AND ROOF PLAN

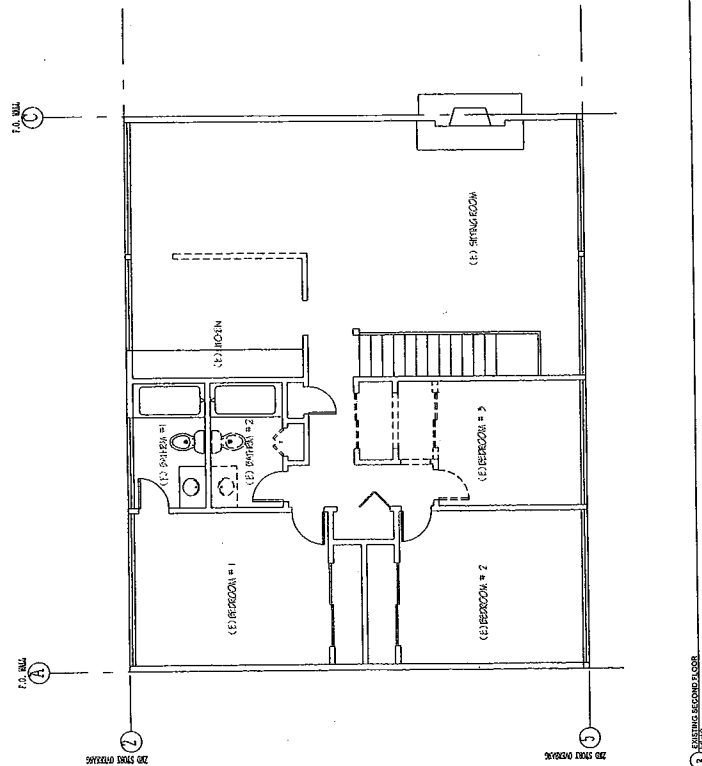
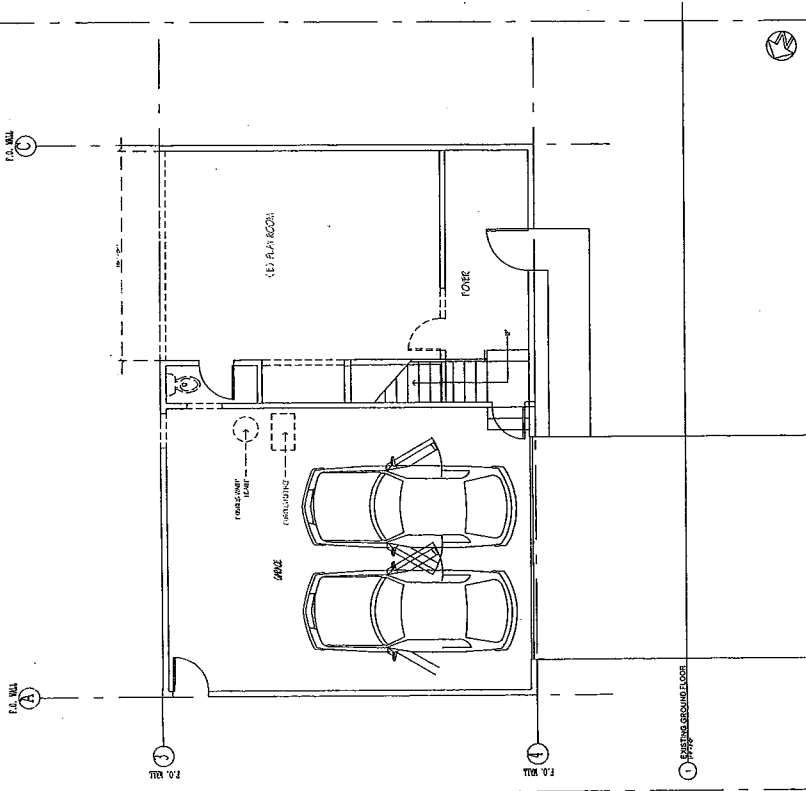
Project No.	020-223-300
Project Name	BLUMENTHAL RESIDENCE REMODEL
Client	BLUMENTHAL
Architect	BLUMENTHAL
Engineer	BLUMENTHAL
Sheet No.	A2.0



APP# 020-223-300
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SAN BRUNO, CA 94066

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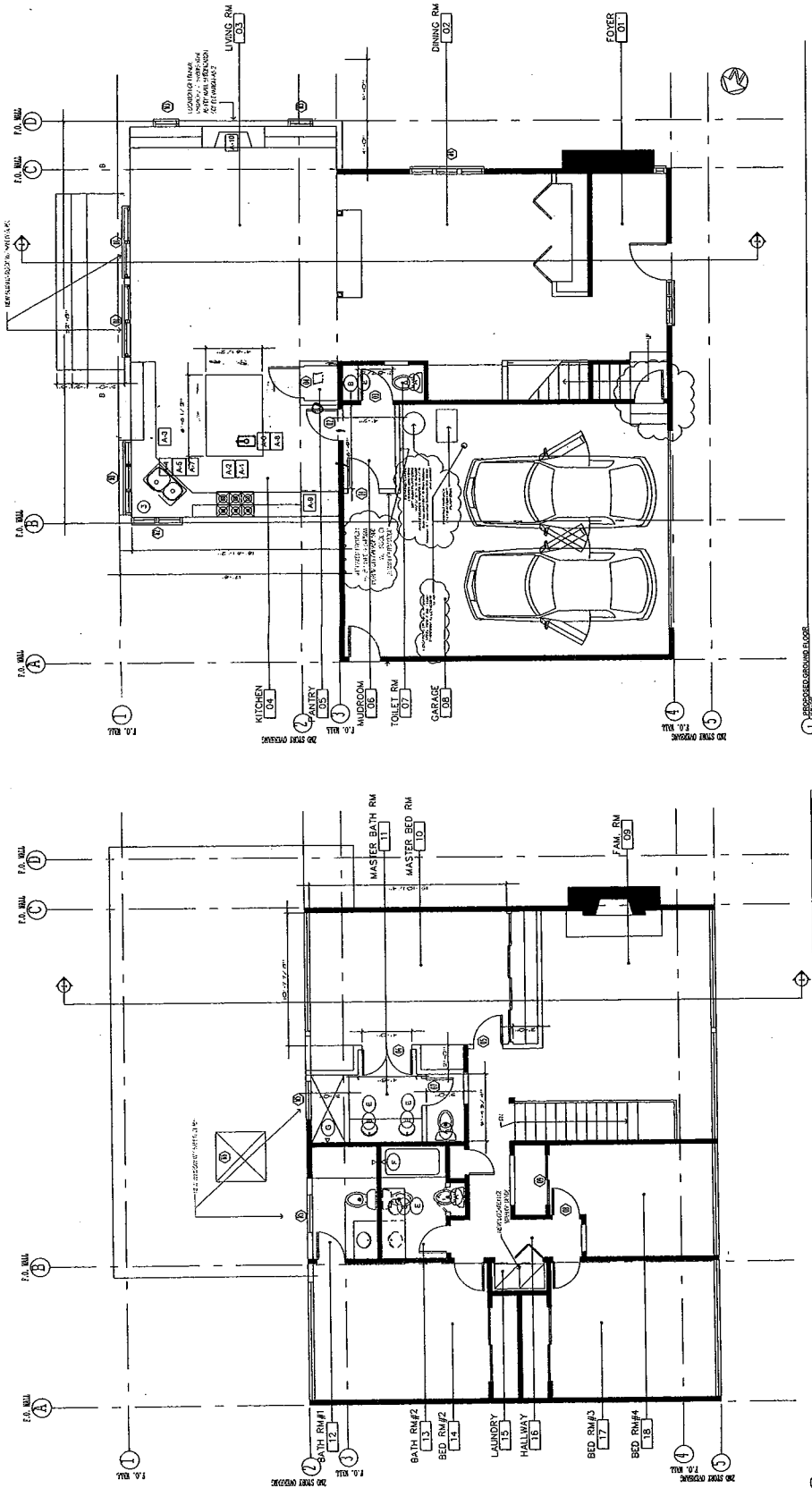
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1. INSPECT WALL AND CEILING FRAMING THAT IS TO REMAIN FOR ANY EXISTING DAMAGE. REVIEW WITH ARCHITECT IN FIELD AFTER DEMOLITION.
2. REMOVE AND DISPOSE OF UNWANTED MATERIALS IN ACCORDANCE WITH ANY RULES AND REGULATIONS AND APPLICABLE CITY ORDINANCES RECYCLING REQUIREMENTS.
3. VERIFY AND OBSERVE NEIGHBORHOOD REQUIREMENTS FOR DEBRIS REMOVAL AND TIME OF DAY THAT CONSTRUCTION MUST OCCUR WITHIN.
4. ELECTRICAL/TELEPHONE/TV CONDUIT, OUTLET BOXES, SWITCHES AND DISCONNECTS THAT ARE NOT TO REMAIN MUST BE DISCONNECTED AND SHOULD BE REMOVED COMPLETELY.
5. FLOORS ARE TO BE LEFT IN BROOM SWEEP CONDITION AFTER WORK IS COMPLETE.
6. PARTITIONS NOTED ON PLAN TO BE REMOVED INCLUDE OUTLETS AND SWITCHES, CASEWORK, GLASS, DOORS AND FRAMES, UNLESS OTHERWISE NOTED.
7. EXISTING STRUCTURE TO BE PROPERLY SUPPORTED AND PROTECTED DURING DEMOLITION TO PREVENT ANY DAMAGE WHATSOEVER. GROUND MUST COMPLY WITH THE UNIFORM BUILDING CODES FOUNDATIONS, FOOTINGS, STRUCTURES, PARTITIONS, WALLS, AND FOR ANY/ALL OTHER DEMOLITION THAT IS INTEGRAL TO THE BUILDING'S STRUCTURE.
8. ALL ROOFING MATERIALS ARE TO BE REMOVED AND PROPERLY DISPOSED OF.
9. CONTRACTOR TO PROTECT EXISTING BUILDING FROM DAMAGE WHICH MAY OCCUR FROM DEMOLITION, DUST, WATER ETC. WHERE CONSTRUCTION WAS REMOVED, PATCH EXISTING AREA TO REMAIN AND PREPARE FOR FINISH AS SPECIFIED. ALL REPAIR IS TO BE DONE IN CONFORMANCE WITH THE CITY CODES. REPAIRS TO CURBS, DRIVEWAYS, SIDEWALKS SHALL BE TO LAND AND RECONSTRUCTION GUIDELINES TO MATCH EXISTING FINISHES AND MATERIALS.

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Date	
Issue	MAY 1908
Revised	OCT 25-08
Project Name	CUSUMEDCROSS Samarthal Feasibility
Project Location	CUSUMEDCROSS Samarthal Feasibility
Project Status	AS NOTED
Drawn By	CHANDRASEKHAR
Checked By	CHANDRASEKHAR
Scale	AS NOTED
Sheet No.	A2.2



CONSTRUCTION NOTES

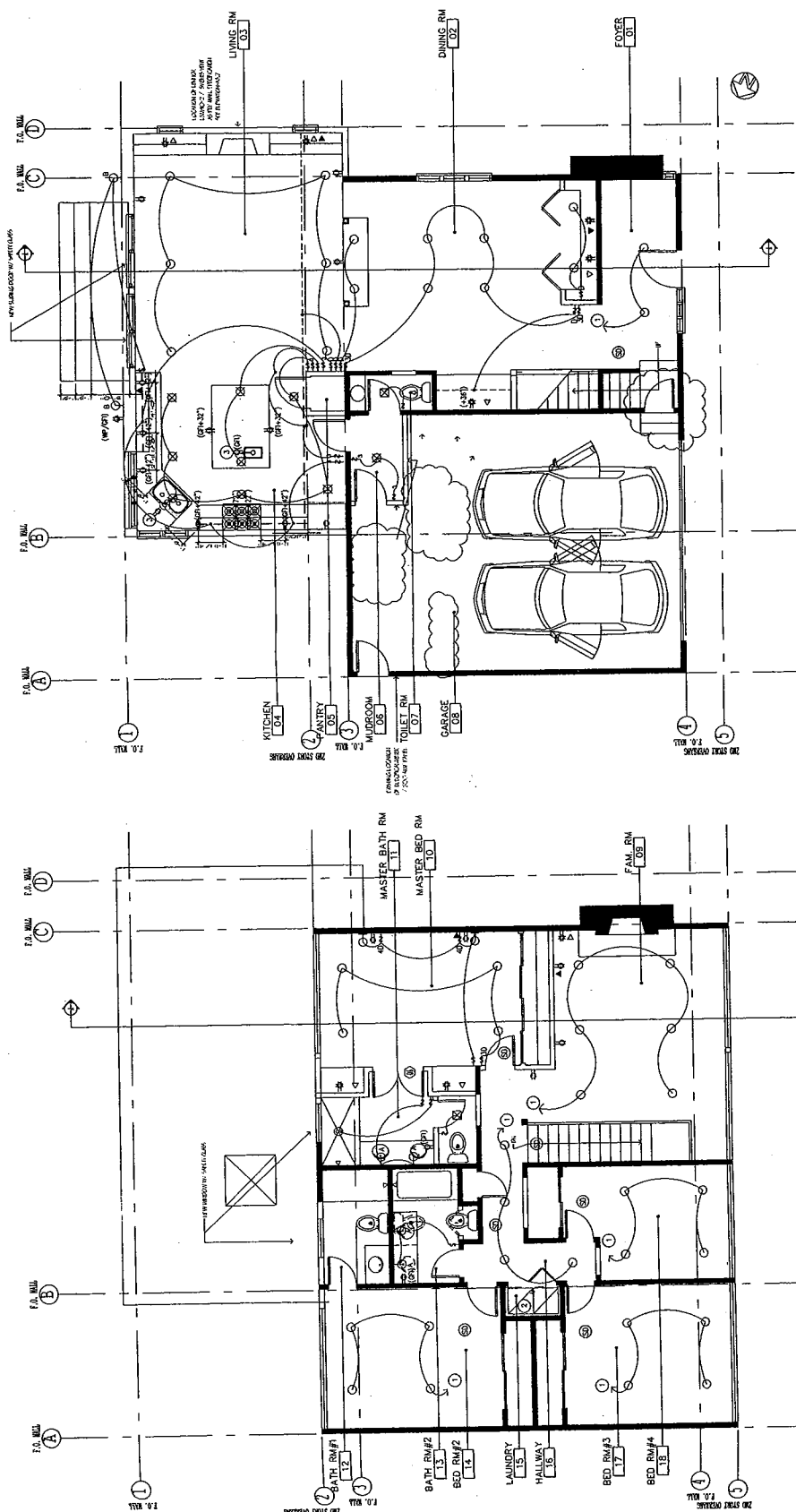
NOTE: THE NEW FOUNDATION SYSTEM SHALL MATCH THE EXISTING TYPE OF FOUNDATION SYSTEM. IN ADDITION, THE EXISTING FOUNDATION SHALL BE UNCOVERED BY THE PERMITTEE TO ALLOW THE INSPECTION OF THE FOUNDATION. THE FOUNDATION SHALL BE REINFORCED WITH STEEL REBAR TO MEET THE REQUIREMENTS OF THE FOUNDATION INSPECTION.

1. THE INSPECTOR TO VERIFY COMPLIANCE AT THE TIME OF THE FOUNDATION INSPECTION.
2. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITIES OR DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, OR WITH GOVERNING REQUIREMENTS.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE GOVERNING JURISDICTION.
4. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING AND THE USE OF THE FACILITIES AS SET BY FEDERAL, STATE AND LOCAL CODES, AND BUILDING DEPARTMENT AGENCIES.
5. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER ALL.
6. ALL CLEAR DIMENSIONS TO BE WITHIN "16" WITHOUT CONTRACTION SHALL NOT ADJUST ANY DIMENSIONS MARKED "J" WITHOUT INSTRUCTION FROM THE ARCHITECT.
7. GENERAL CONTRACTOR TO INCLUDE FINAL CLEANING, INCLUDING BUT NOT LIMITED TO GLASS, GLOSSY SURFACES, FLOORS, DOORS & FRAMES.
8. ALL PARTITIONS SHALL BE ANCHORED FIRMLY AND SEMICALLY BRACED PER CODE REQUIREMENTS.
9. WHERE NEW WALL, HUNG CABINETS OR SHELVING OCCURS, PROVIDE STRUCTURAL BACKING IN WALL AS REQUIRED.
10. PATCH AND REFINISH EXISTING SURFACES THAT HAVE BEEN DAMAGED, MARRED, ETC. DUE TO NEW AND REMOVE WORK SO THAT IT MATCH EXISTING EXACTLY.

11. ALL NEW FLOORS AS PER DOOR SCHEDULE. ALL NEW FRAMES & DOOR CASINGS AS PER DOOR SCHEDULE.
12. ALL DOORS SHALL BE UNDERCUT TO CLEAR TILE AND CARPET, WHERE OCCURS.
13. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY CUTOFFS FOR THE INFRASTRUCTURE ELECTRICAL CABLES, TELEPHONE AND DATA OUTLETS, TELEPHONE AND DATA OUTLET UNITS AND OTHER TO WATER.
14. ALL WOOD NOT PRESSURE TREATED TO BE A MINIMUM 6" ABOVE GRADE.
15. ALL WATER CLOSETS TO BE A MAXIMUM 1.5 GALLONS PER FLUSH.
16. ALL INSULATION TO CONFORM TO REQUIREMENTS OF TITLE 24 R-30 FOR ROOF & R-13 FOR WALLS.
17. PROVIDE SEISMIC ANCHORAGE FOR ALL APPLIANCES, WATER HEATER, ETC.
17. ALL MECHANICAL AND ELECTRICAL WORK ON A DESIGN-BUILD BASIS AND THE CONTRACTOR IS RESPONSIBLE FOR PERMITS ASSOCIATED WITH THE WORK.

CONSTRUCTION PLAN

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SAN BRUNO, CA 94066

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LIGHTING NOTES:

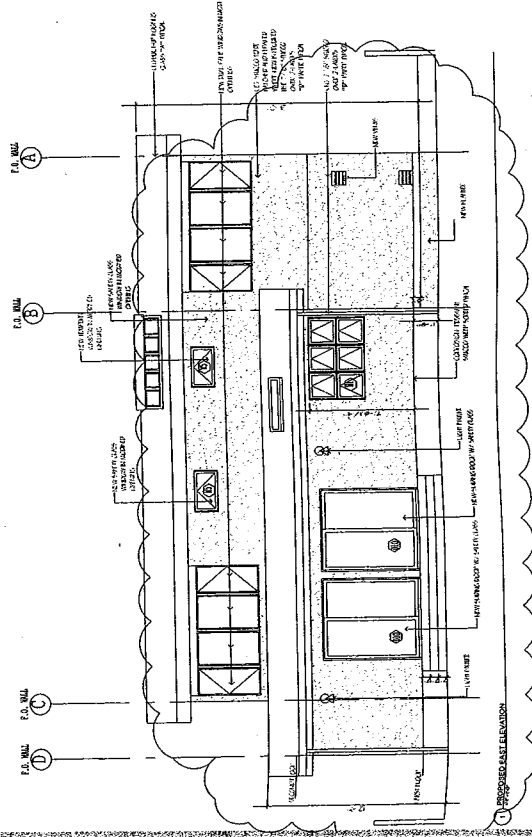
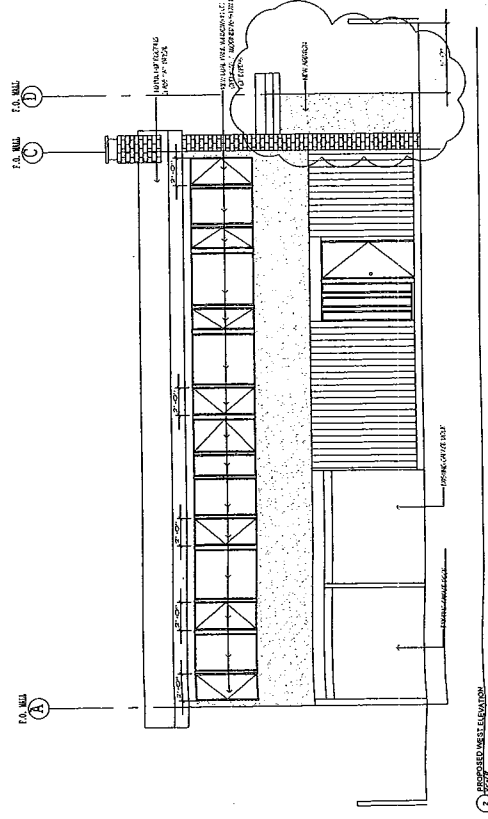
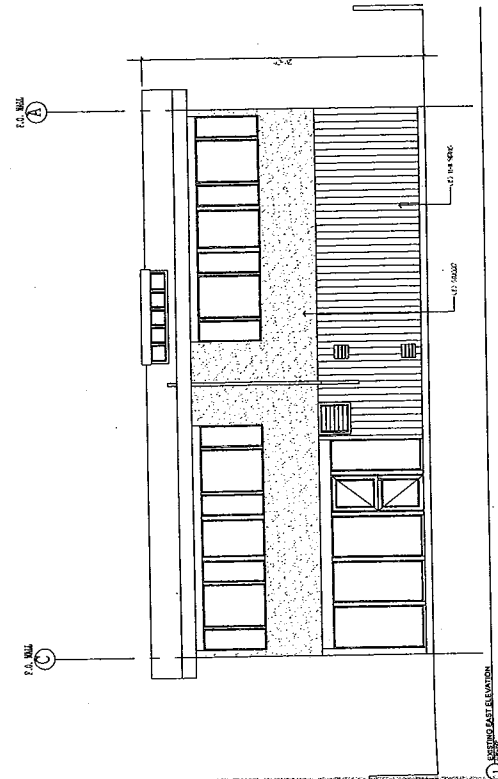
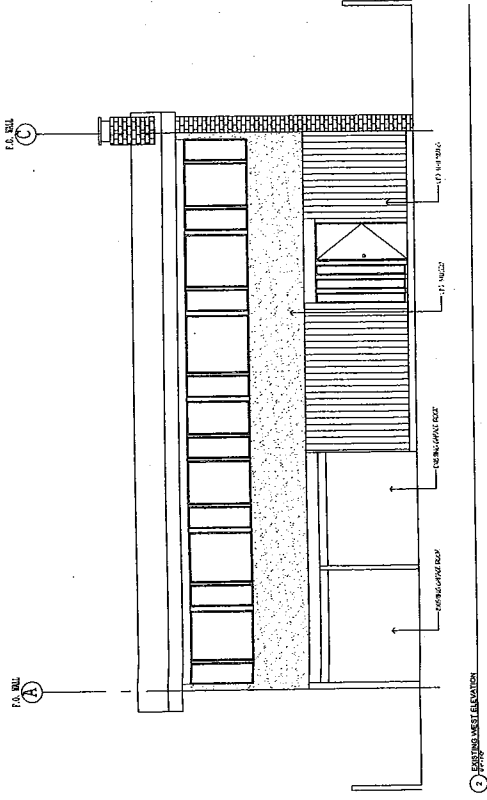
ELECTRICAL NOTES:

1. PROVIDE POWER IN CLOSET FOR WASHER DRYER
2. PROVIDE POWER INSIDE C.A.U. FOR DRAINAGE DUMP. W/ AIR SWITCH @ COUNTER
3. GENERAL NOTES:
1. COORDINATE OUTLET LOCATIONS WITH FRAMING & V/F W/ ARCHITECT / OWNER
2. DISCUSS WITH ARCHITECT ALL CIRCUITING PRIOR TO INSTALLATION
3. ALL AUDIO/VIDEO EQUIPMENT IS OWNER FURNISHED AND INSTALLED BY OWNER'S VENDOR. CONTRACTOR TO COORDINATE ROUGH-IN LOCATIONS AND ADJ. REQUIREMENTS, WITH OWNER'S VENDOR.
4. ENSURE CODE COMPLIANCE W/ ELECTRICAL LOCATIONS IN KITCHEN. ALL OUTLETS ABOVE COUNTER W/ EXEMPTION IN ORDER TO COMPLY WITH CODE.
5. ISLAND OUTLETS UNDER COUNTER UNDER OVERHANG
6. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15 AMP, 20-AMP RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOM SHALL BE PROTECTED BY AN AISC 150-100-000 (TYPE 1) BRN) LISTED FIBRE OPTIC BRANCH CIRCUIT.
- CONNECT TO (E) LIGHT SWITCH LOCATION. REPLACE (E) SWITCH WITH OWNER GENERAL NOTES:
1. ALL LIGHTING IS ON DIMMING SWITCHES EXCEPT FOR FLUORESCENT LIGHTING. COORDINATE LIGHT LOCATIONS WITH CEILING FRAMING & V/F W/ OWNER AND ARCHITECT
2. NOTE ALL (M) LIGHT FIXTURE UNLESS OTHERWISE SPECIFIED ARE OWNER SUPPLIED CONTRACTOR INSTALL 'E'
3. DISCUSS WITH ARCHITECT ALL LAMPING SPECIFICATIONS FOR ALL THE LIGHT FIXTURES PRIOR TO PURCHASE AND INSTALLATION
4. ALL AUDIO/VIDEO EQUIPMENT IS OWNER FURNISHED AND INSTALLED BY OWNER'S VENDOR. CONTRACTOR TO COORDINATE ROUGH-IN LOCATIONS AND ADJ. REQUIREMENTS, WITH OWNER'S VENDOR.
5. ALL LIGHTING TO BE IN COMPLIANCE WITH CALIFORNIA TITLE 24 EFFECTIVE OCTOBER 1, 2005

- [illegible]

BLUMENTHAL RESIDENCE REMODEL

APP# 020-223-300
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Revision	Date
1. INITIAL DESIGN	MAY 2006
2. PERMIT	OCT 2006
3. REVISED DESIGN	
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ELEVATIONS

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Client: BLUMENTHAL RESIDENCE
Architect: J. BLUMENTHAL
Scale: AS NOTED
Drawn: J. BLUMENTHAL
Checked: J. BLUMENTHAL
Sheet No. A3.0

BLUMENTHAL RESIDENCE REMODEL

APP# 020-223-300
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SAN BRUNO, CA 94066

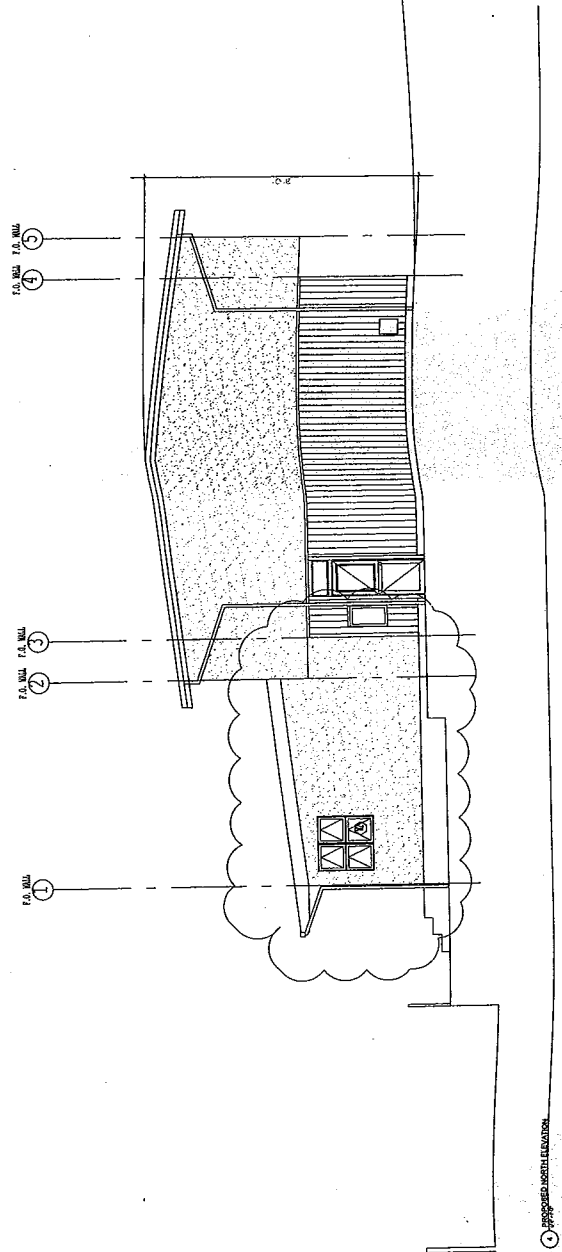
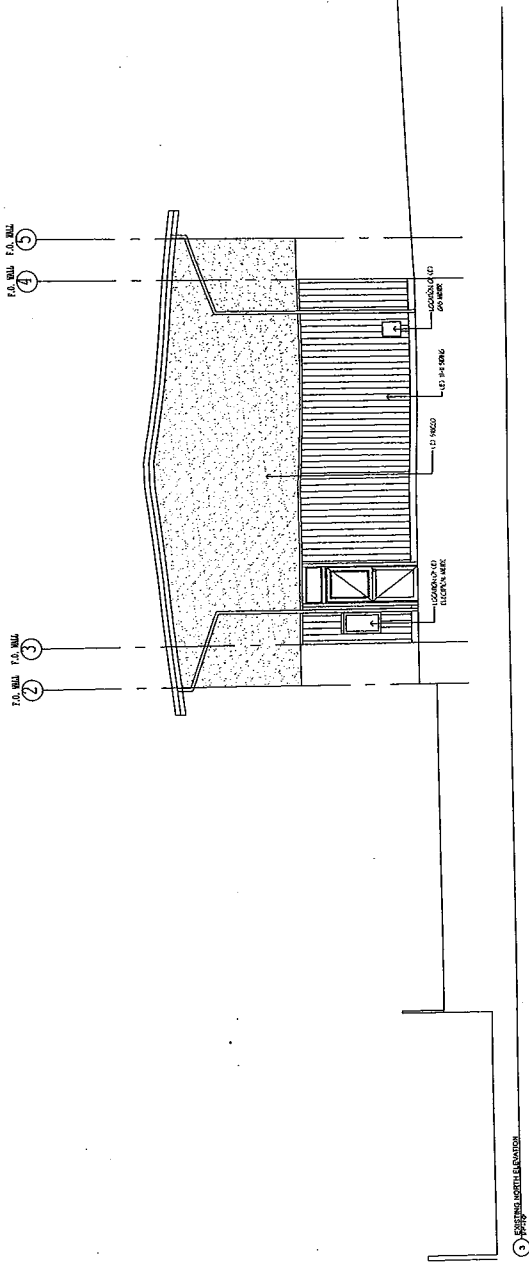
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Checked	Architect
Designed	Architect
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Project Name	BLUMENTHAL RESIDENCE REMODEL
Scale	AS NOTED
Date	OCT 2000
Sheet No.	

Sheet Title

ELEVATIONS

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Project Name BLUMENTHAL RESIDENCE REMODEL
Scale AS NOTED
Date OCT 2000
Sheet No.

A3.1



**BLUMENTHAL
RESIDENCE
REMODEL**

APP# 020-223-300
446 REDWOOD AV
SAN BRUNO, CA 94066

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ELEVATIONS

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A3.2

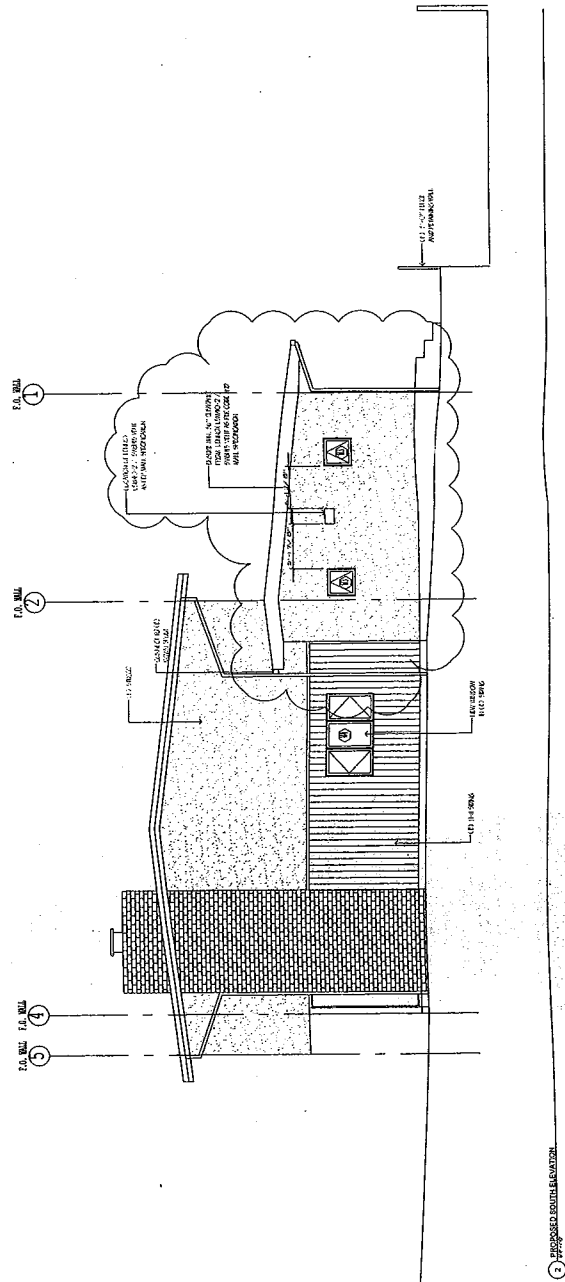
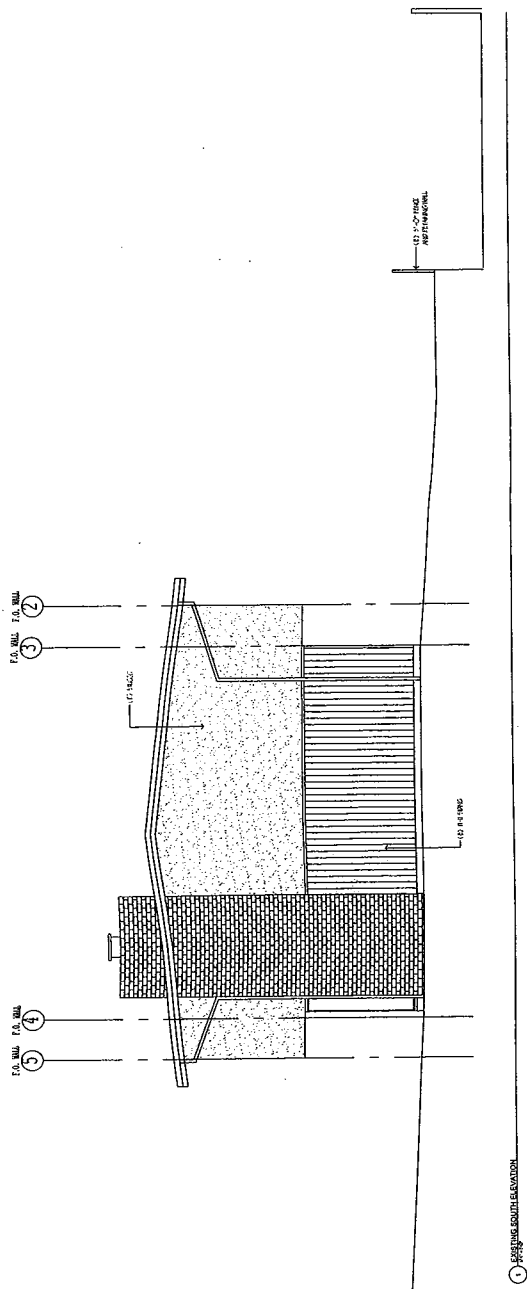


Exhibit C – Photo